



IVY ROUGE

OAKVILLE

TOWNHOMES, SEMIS & SINGLES



YOUR FIVE-STAR HOME BUILDER





A woman in a white dress and a child in a light sweater are holding hands in a field of flowering trees. The woman is in the background, and the child is in the foreground, reaching out towards the text. The trees are in full bloom with white flowers, and the scene is set in a lush green field.

WELCOME TO YOUR NEXT CHAPTER

Starlane Homes is thrilled to bring you the second phase of Ivy Rouge, its much-anticipated release in North Oakville. Located at Burnhamthorpe Road & Sixth Line, this exclusive collection of 31 meticulously crafted townhomes, semis, and singles, is a rare opportunity to be part of an exceptional new community in an exciting area of the GTA.

LIVING SPACES DESIGNED FOR YOU

A LIMITED RELEASE OF TOWNS, SEMIS, AND SINGLES BUILT FOR MODERN LIFE

The homes of Ivy Rouge have been exceptionally crafted by Starlane's expert team.

The townhomes and semi-detached homes feature layouts that span upwards of 2,600 sq.ft, offering designs that maximize space and versatility. The single-family detached homes offer up to 3,500 sq.ft, of grand living space. Both offer private outdoor space for you and your family to enjoy.

Entertain in style and customize your home to perfectly suit your lifestyle. Starlane offers a wide array of premier features and finishes so you can design every room in your home — from the walls, to the floors, to the fixtures — the way you want.





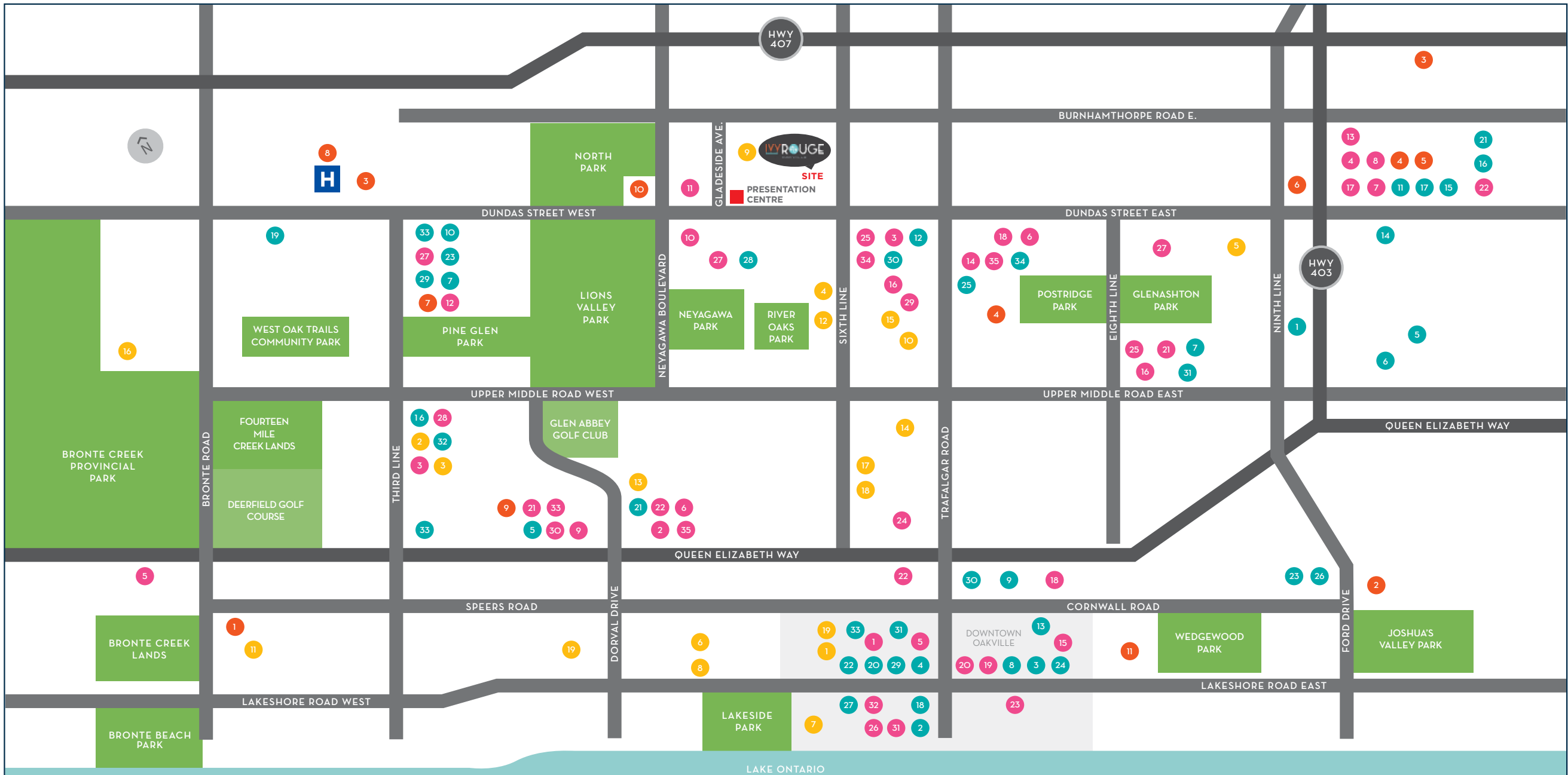
NEW OAKVILLE

MINUTES FROM THE LAKE AND EVEN CLOSER TO THE CITY'S NEWEST ATTRACTIONS

Nestled at the intersection of Burnhamthorpe Road and Sixth Line, Ivy Rouge is minutes from the shopping, dining, and entertainment options of Oakville's Uptown Core. It's also minutes from Trafalgar Memorial Hospital and offers easy access to major highways.

Revel in the charm of Oakville's waterfront, a short drive away, or explore the tranquility of Lions Valley Park. For golfers, play at the renowned Glen Abbey or take advantage of the country club amenities at one of the several public and private courses nearby. With a vibrant local business scene and lush green spaces, your new community has everything you'll need.





RETAIL

- | | | |
|------------------------------|--------------------------|------------------------------|
| 1. Anthropologie | 11. Fortinos | 21. Metro |
| 2. Bed Bath + Beyond | 12. FreshCo. | 22. Michaels |
| 3. Beer Store | 13. The Home Depot | 23. Oakville Fine Hardware |
| 4. Best Buy | 14. HomeSense | 24. Oakville Place Gallery |
| 5. The British Grocer Market | 15. Jubilee Fruit Market | 25. Real Canadian Superstore |
| 6. Canadian Tire | 16. LCBO | 26. Roots |
| 7. Chapters | 17. Linen Chest | 27. Shoppers Drug Mart |
| 8. Costco | 18. Longo's | 28. Sobeyes |
| 9. Dollarama | 19. Lululemon | |
| 10. Food Basics | 20. Mendocino | |
| | | 29. Sportchek |
| | | 30. Staples |
| | | 31. Tommy Bahama |
| | | 32. Towne Square |
| | | 33. Toys R Us |
| | | 34. Walmart |
| | | 35. Winners |

RESTAURANTS + ENTERTAINMENT

- | | | | |
|----------------------------|------------------------------|------------------------------------|--------------------|
| 1. 5 Drive-In | 11. Jack Astor's Bar + Grill | 21. Panera Bread | 31. Swiss Chalet |
| 2. 7 Enoteca | 12. The Keg Steakhouse | 22. Paradiso | 32. Symposium Café |
| 3. Aroma Espresso Bar | 13. The King's Arms | 23. Pizza Nova | 33. Tim Hortons |
| 4. Borgo Antico Cucina Bar | 14. Lone Star Texas Grill | 24. Pizzaiolo | 34. Turtle Jack's |
| 5. Boston Pizza | 15. Mandarin | 25. Ritorno | |
| 6. Cineplex Cinemas | 16. McDonald's | 26. The Royal Windsor Pub + Eatery | |
| 7. Cobs Bread | 17. Milestones | 27. Season's Restaurant | |
| 8. Cork's Restaurant | 18. Noble Bistro Oakville | 28. Spoon + Fork | |
| 9. Harper's Landing | 19. The Olive Press | 29. Starbucks Coffee | |
| 10. House of Wings | 20. Oliver's Steakhouse | 30. Sunset Grill | |

EDUCATION + COMMUNITY

- | | | |
|--|--|---------------------------------|
| 1. Centennial Pool | 10. Post's Corners Public School | 18. White Oaks Secondary School |
| 2. Glen Abbey Community Centre | 11. Queen Elizabeth Park Community + Cultural Centre | 19. YMCA Oakville |
| 3. Glen Abbey Public Library | 12. River Oaks Community Centre | |
| 4. Holy Trinity Catholic Secondary School | 13. Service Ontario | |
| 5. Joshua Creek Public School | 14. Sheridan College | |
| 6. The Oakville Centre for the Performing Arts | 15. St. Andrew Catholic Elementary School | |
| 7. Oakville Museum | 16. St. Mary Catholic Elementary School | |
| 8. Oakville Public Library | 17. White Oaks Public Library | |
| 9. Oudenawi Public School | | |

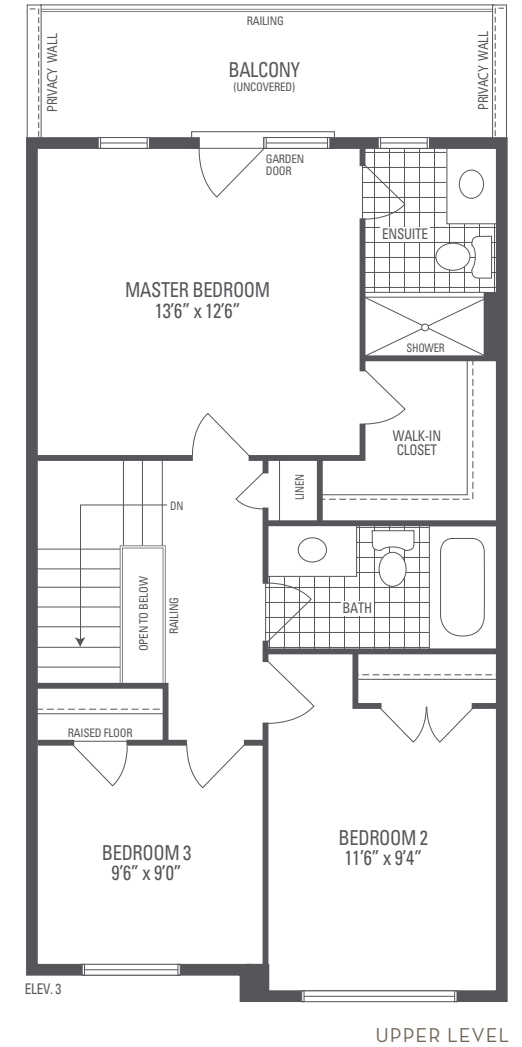
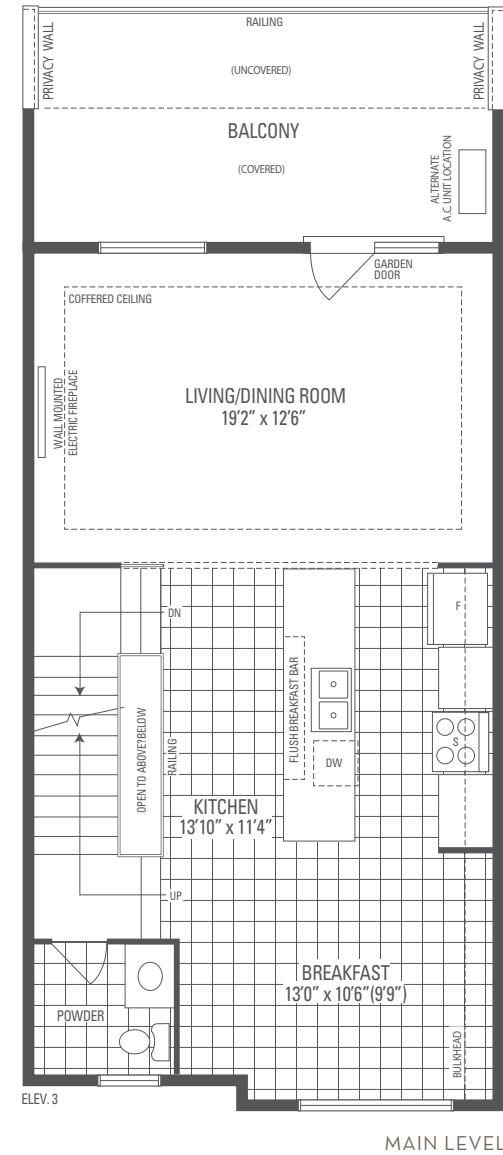
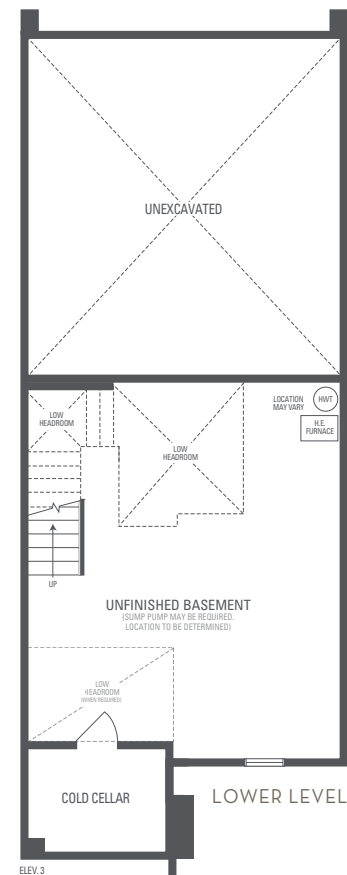
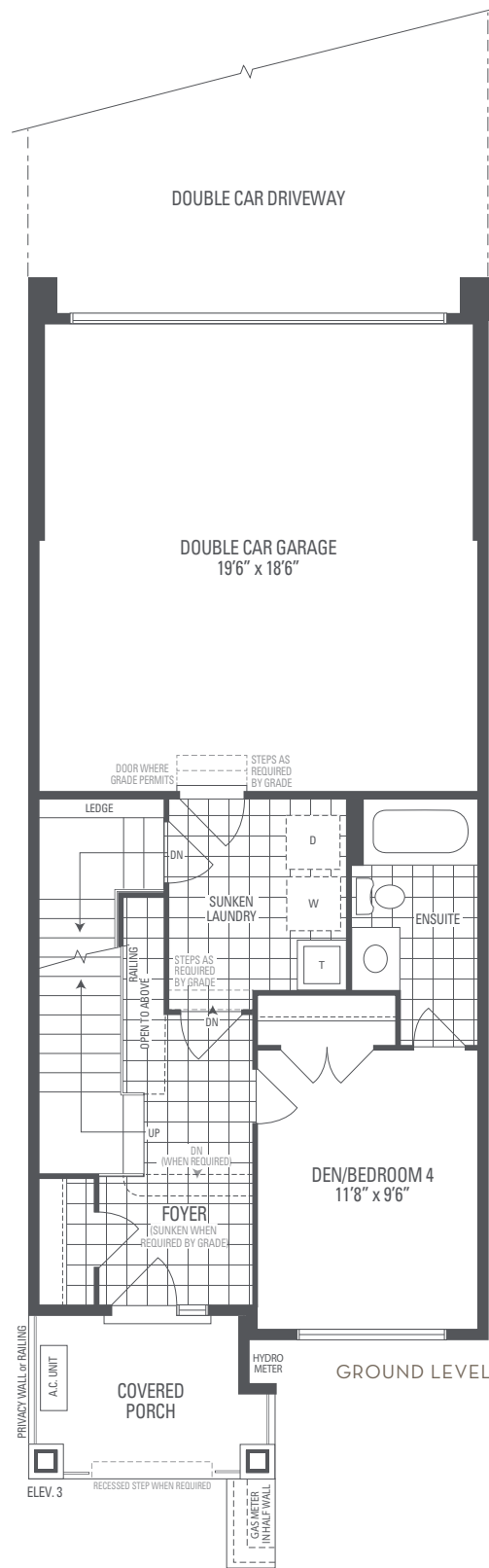
HEALTH + REC

- | |
|---|
| 1. Bronte Tennis Club |
| 2. Canlan Ice Sports |
| 3. Fit4Life |
| 4. GoodLife Fitness |
| 5. LA Fitness |
| 6. Ninth Line Sports Park |
| 7. Oakville Soccer Club |
| 8. Oakville Trafalgar Memorial Hospital |
| 9. Planet Workout |
| 10. Sixteen Mile Sports Complex |
| 11. Wedgewood Pool |

AMENITIES MAP NOT TO SCALE. MAP IS ARTIST'S CONCEPTION AND IS PROVIDED FOR GENERAL INFORMATION ONLY. ALL DETAILS SHOULD BE CONFIRMED WITH SALES REPRESENTATIVE AND/OR MUNICIPALITY. E. & O.E.

ENCORE 1

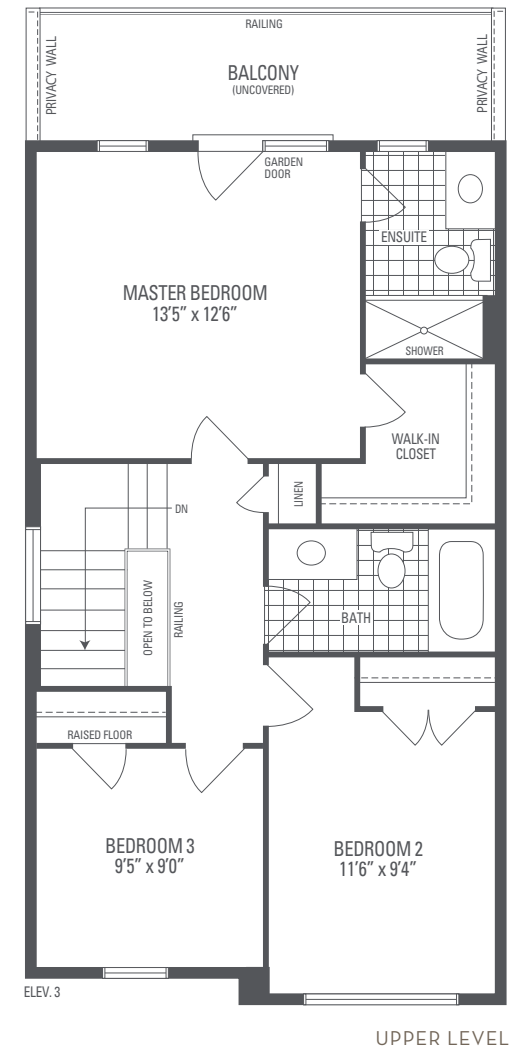
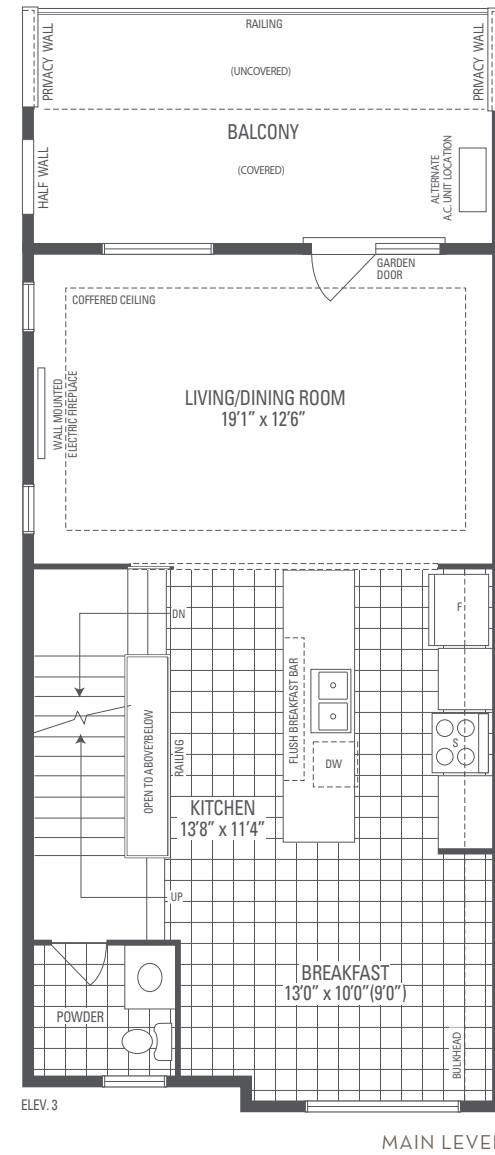
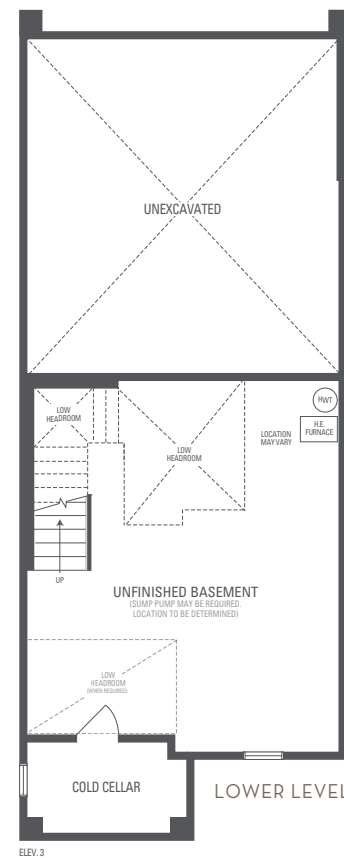
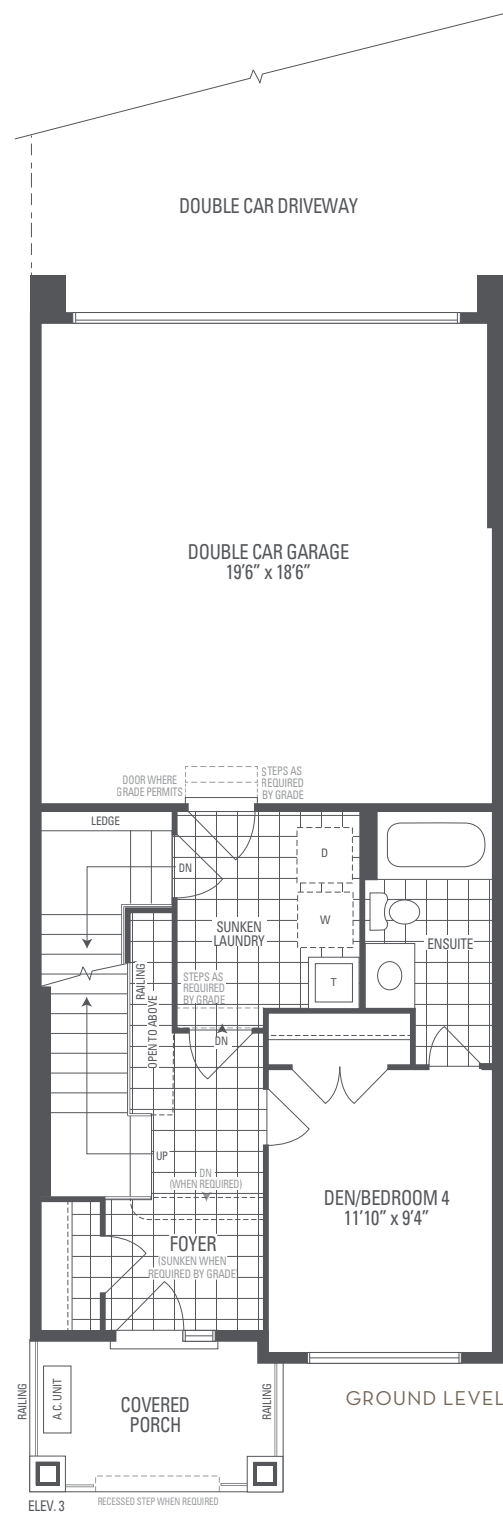
Elevation 3 • 1,905 sq.ft.



Main exterior building materials for front include: Elev. 3 • Cultured Stone + Brick + Prefinished Aluminum Siding Tinor Development Corp. • 20'0" • March 2024
 NOTE: Orientation of home may be reversed and purchaser agrees to accept the same. Unit setback and roofline may vary due to siting. Steps may vary at any exterior entrance ways due to grading variance. All dimensions are approximate only and subject to change without notice. Actual usable floor space may vary from stated floor area. All renderings are artist's concept, specifications, architectural and mechanical detailing are subject to minor modifications. Mechanical wall encroachments may be required into finished rooms and garage spaces. E.&O.E.

ENCORE 1E

Elevation 3 • 1,953 sq.ft.

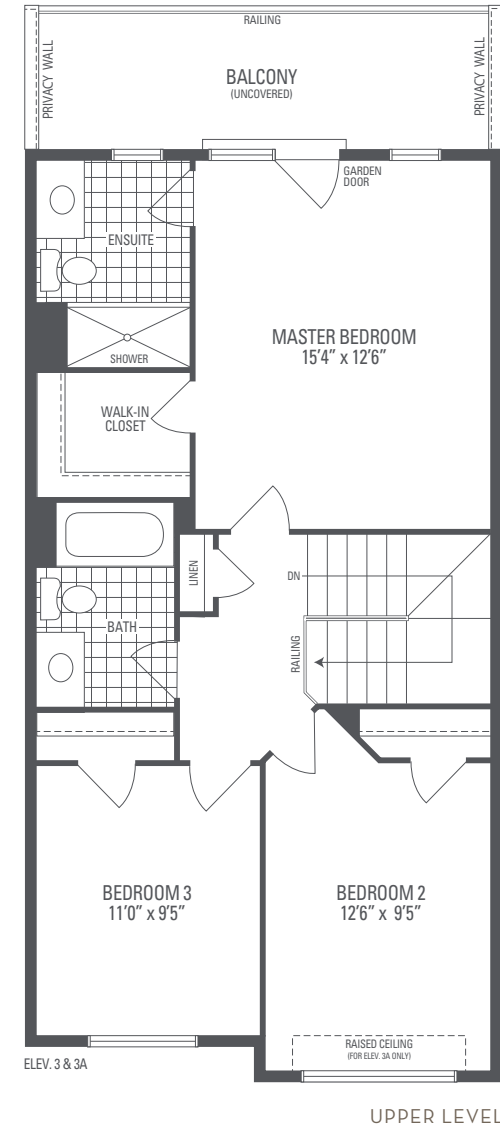
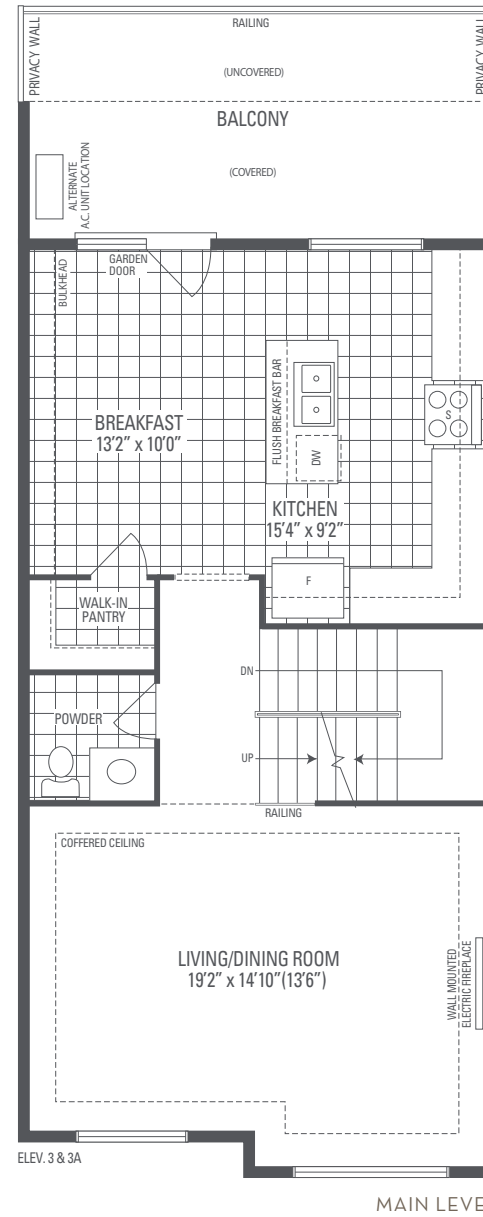
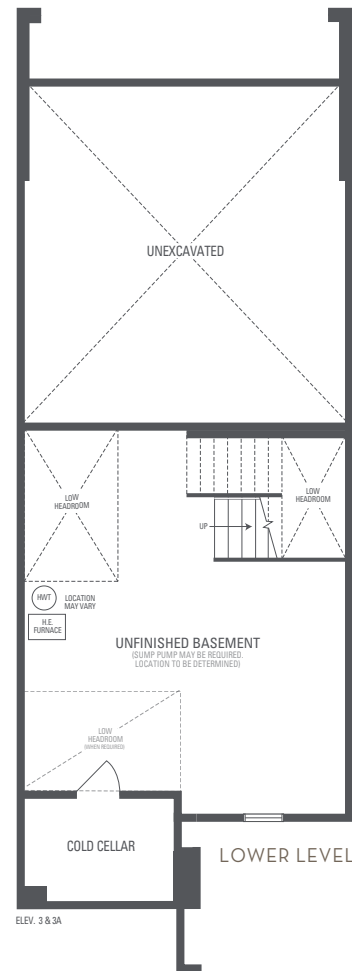
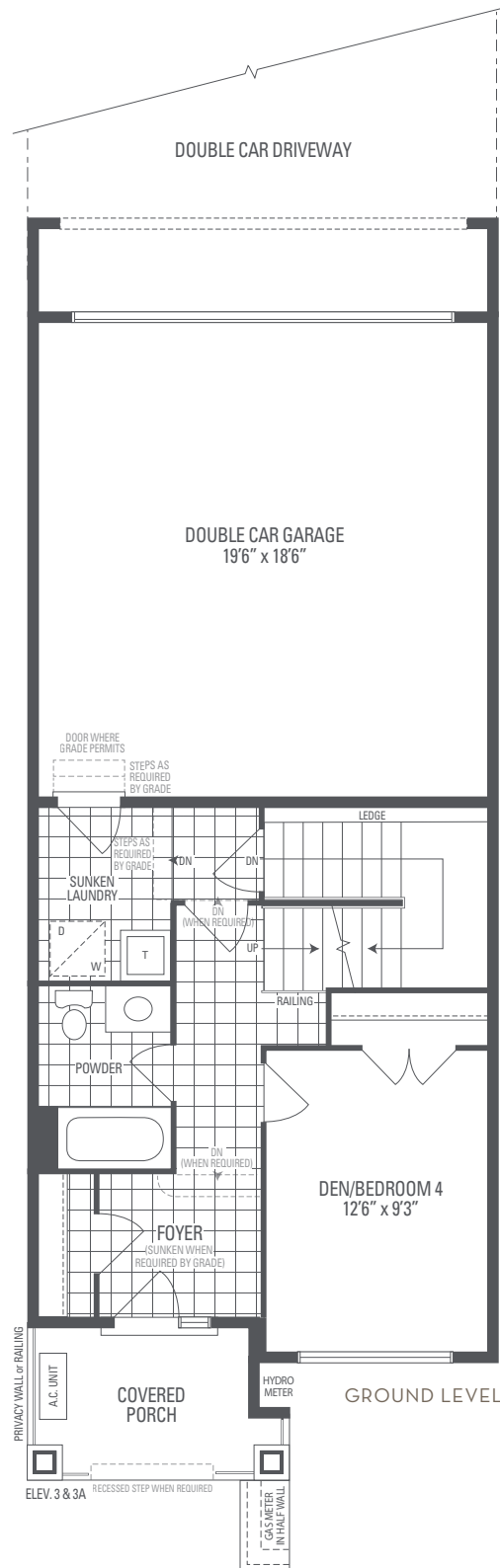


Main exterior building materials for front include: Elev. 3 • Cultured Stone + Brick + Prefinished Aluminum Siding Tinor Development Corp. • 20'0" • March 2024

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ENCORE 2

Elevation 3 • 2,041 sq.ft. | Elevation 3A • 2,041 sq.ft.

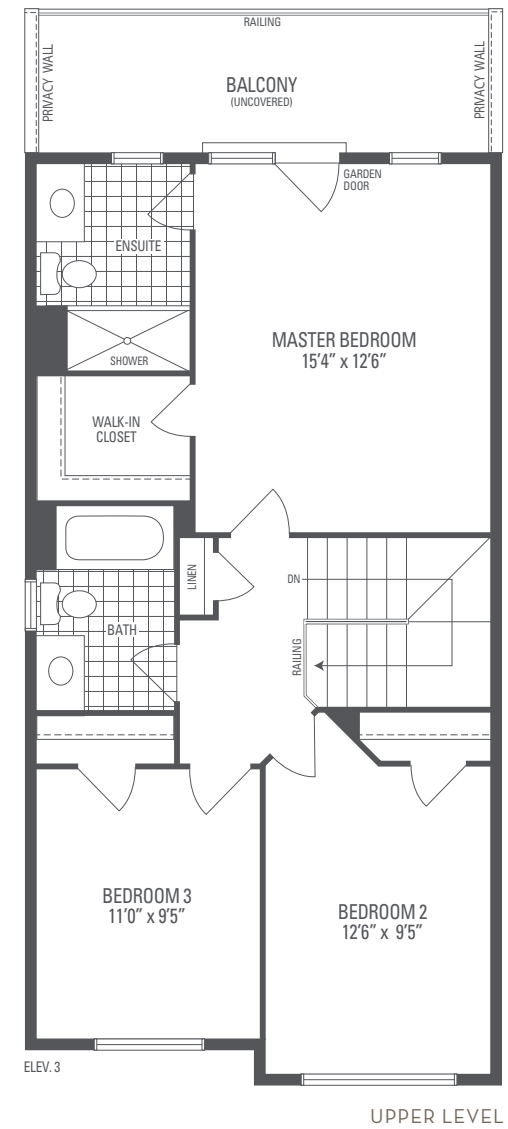
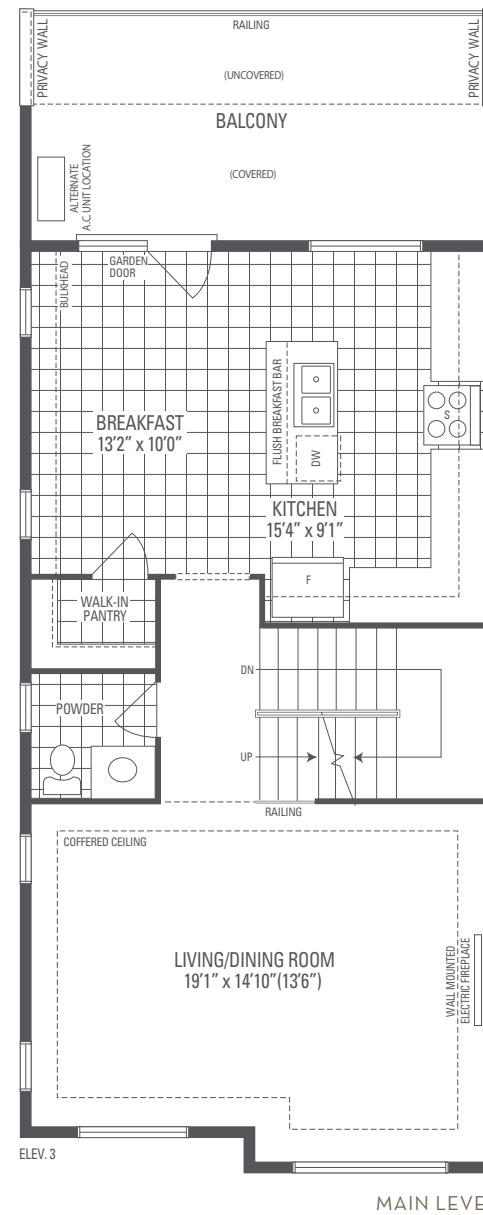
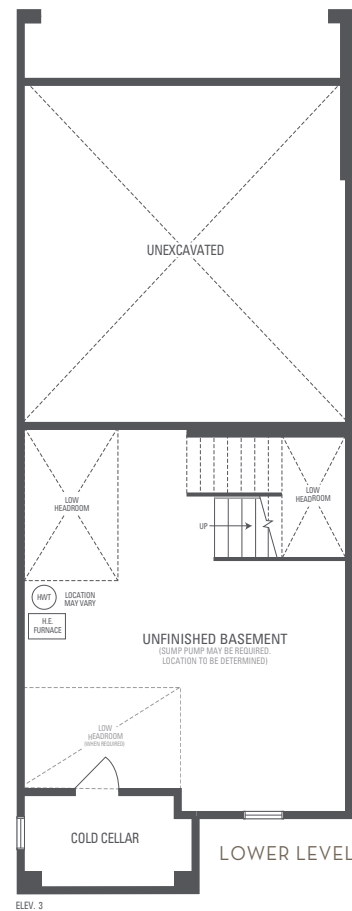
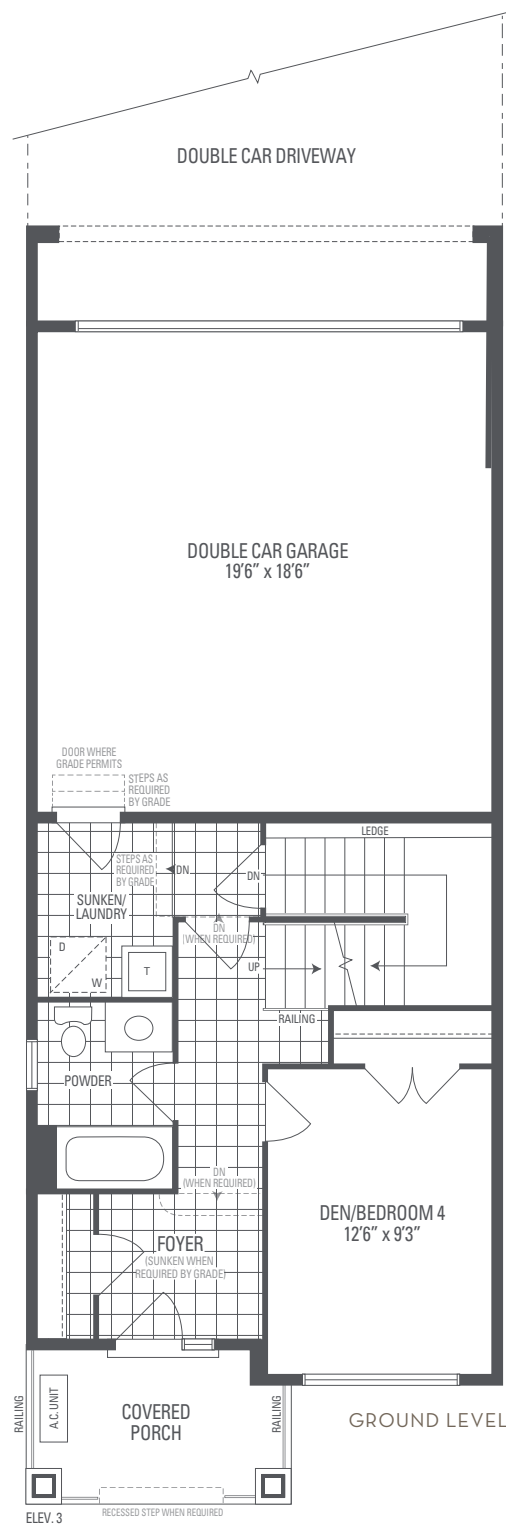


Main exterior building materials for front include: Elev. 3 & 3A • Cultured Stone + Brick + Prefinished Aluminum Siding Tinor Development Corp. • 20'0" • March 2024

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ENCORE 2E

Elevation 3 • 2,090 sq.ft.

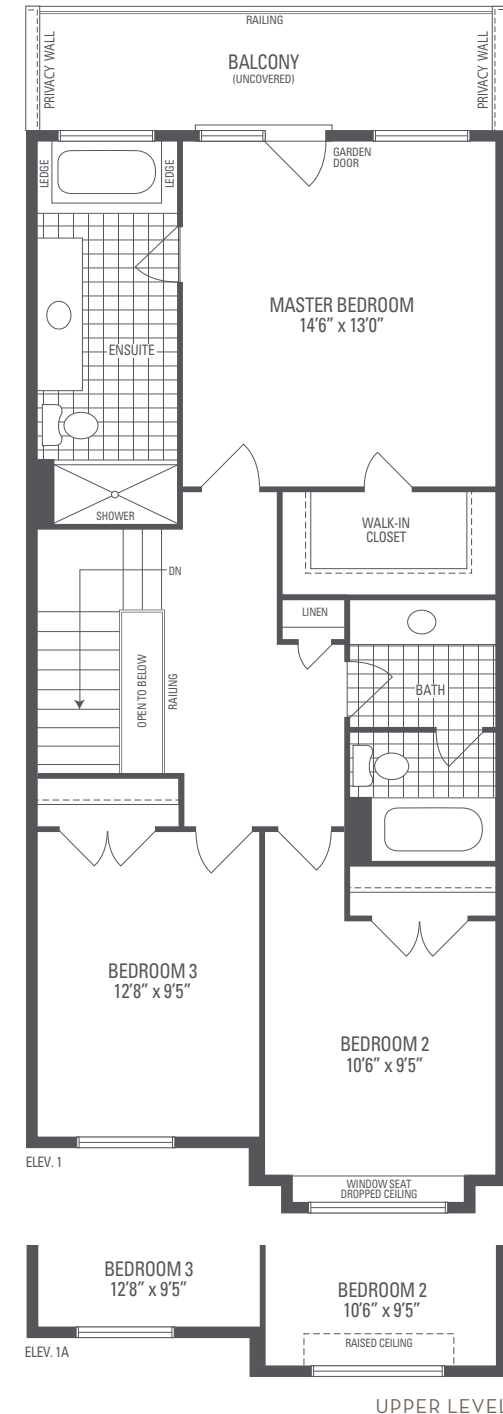
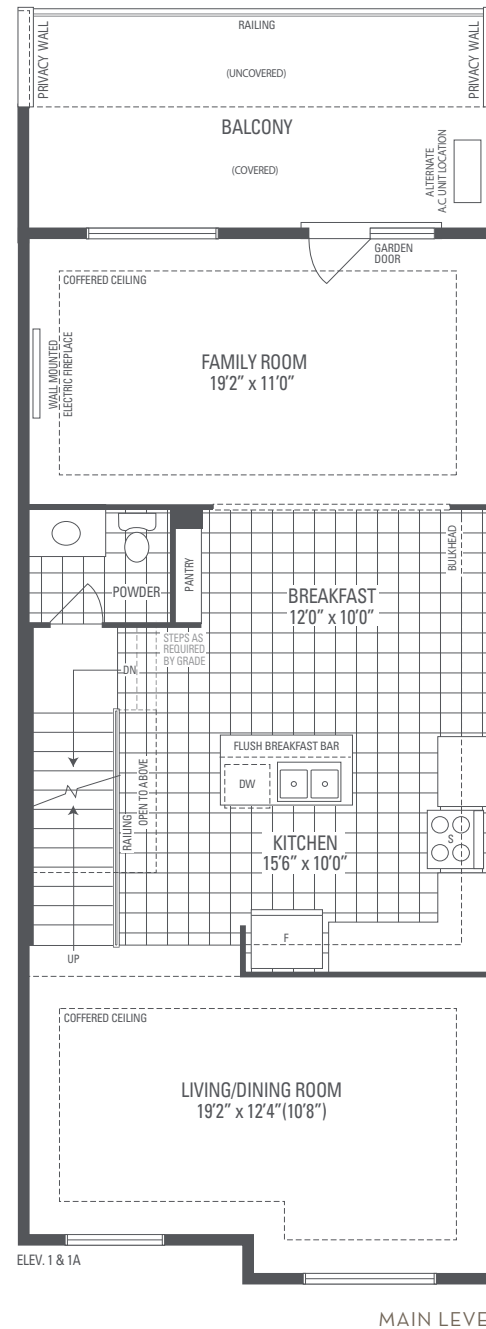
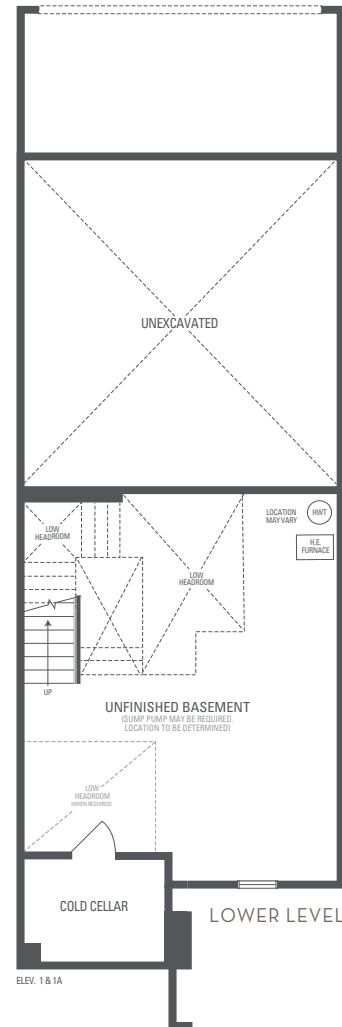
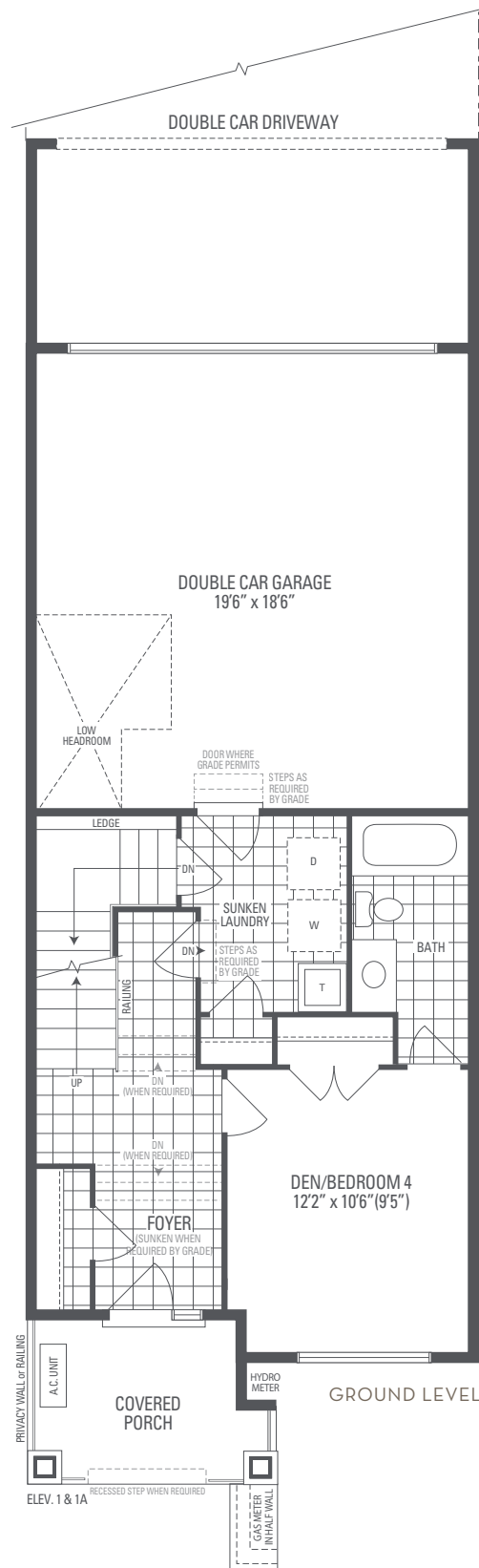


Main exterior building materials for front include: Elev. 3 • Cultured Stone + Brick + Prefinished Aluminum Siding Tinor Development Corp. • 20'0" • March 2024

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ENCORE 3

Elevation 1 • 2,270 sq.ft. | Elevation 1A • 2,270 sq.ft.

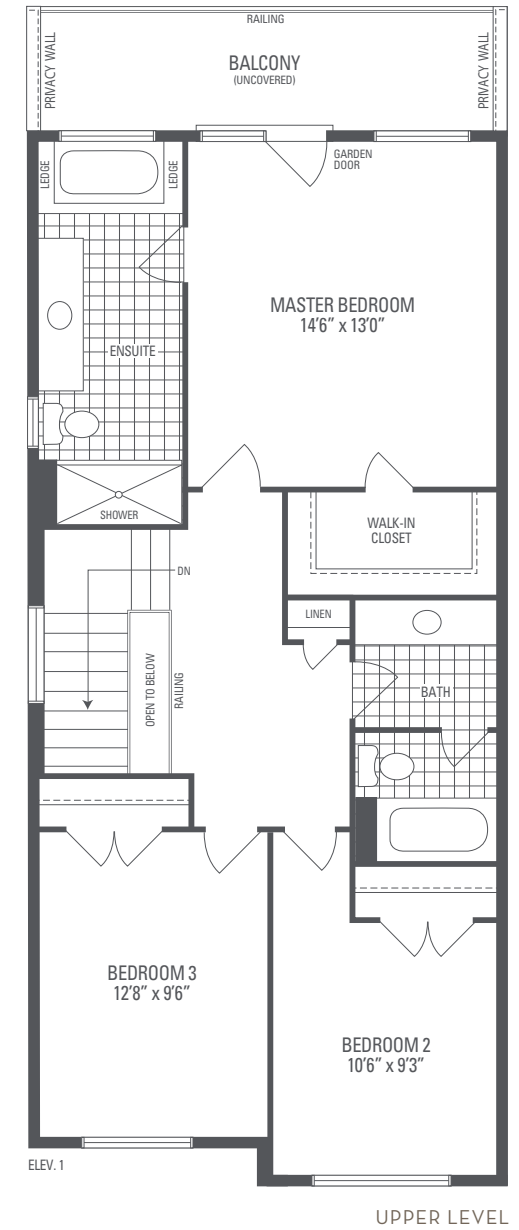
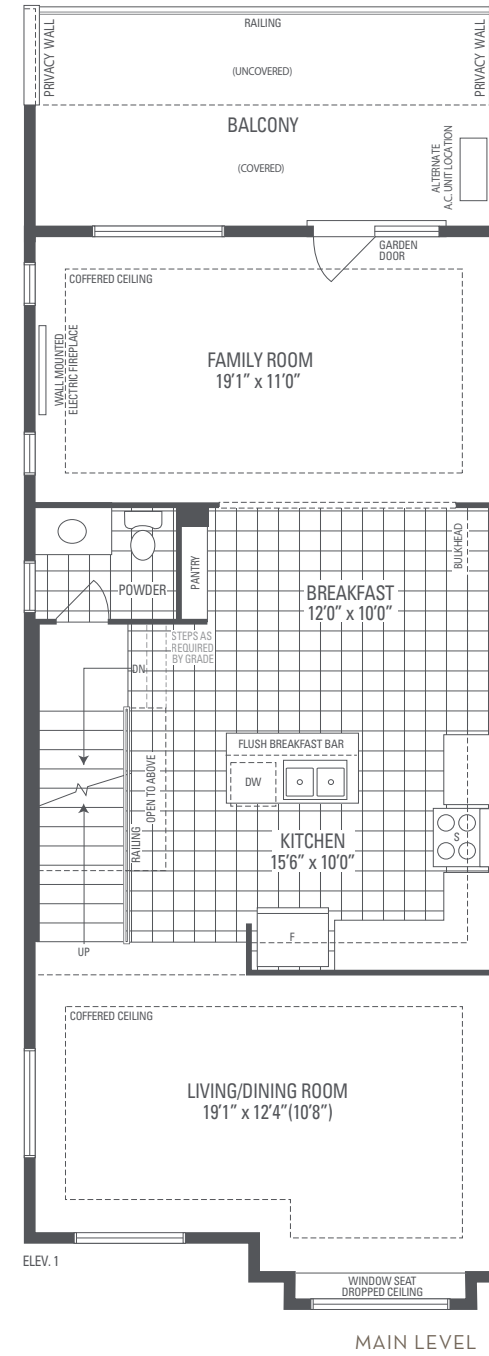
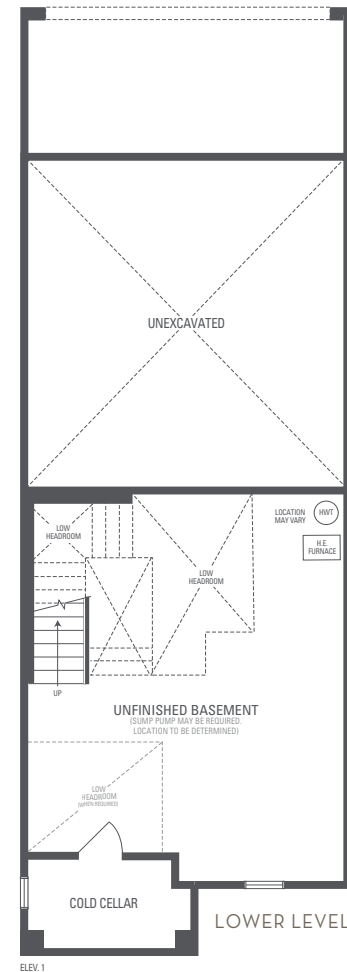
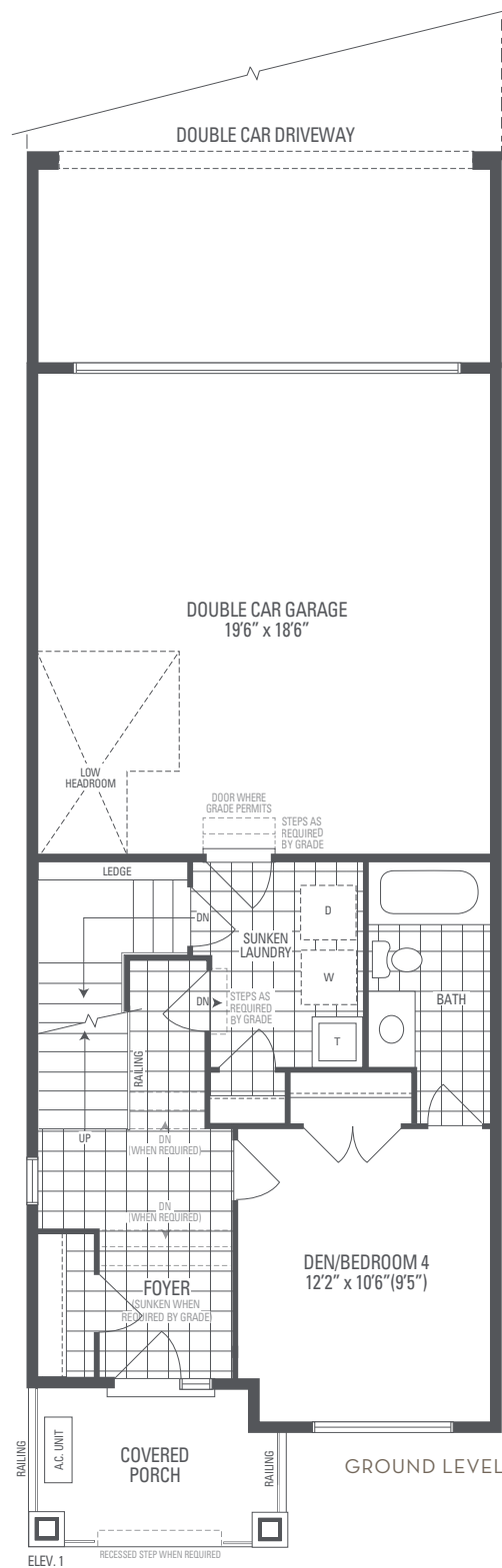


Main exterior building materials for front include: Elev. 1 & 1A • Brick + Applied Stucco Tinor Development Corp. • 20'0" • March 2024

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ENCORE 3E

Elevation 1 • 2,334 sq.ft.

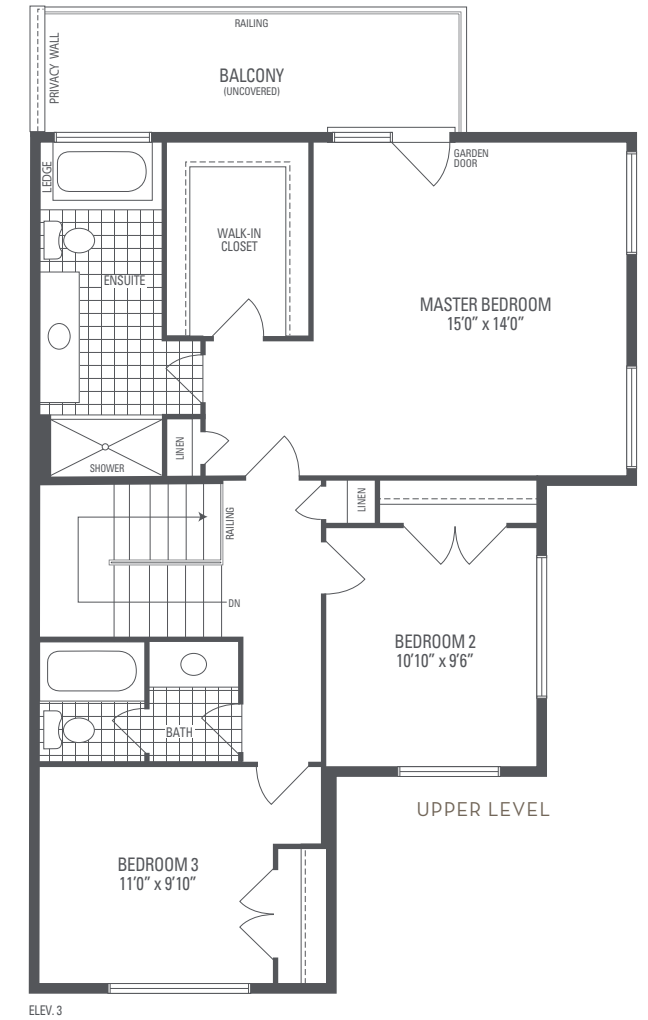
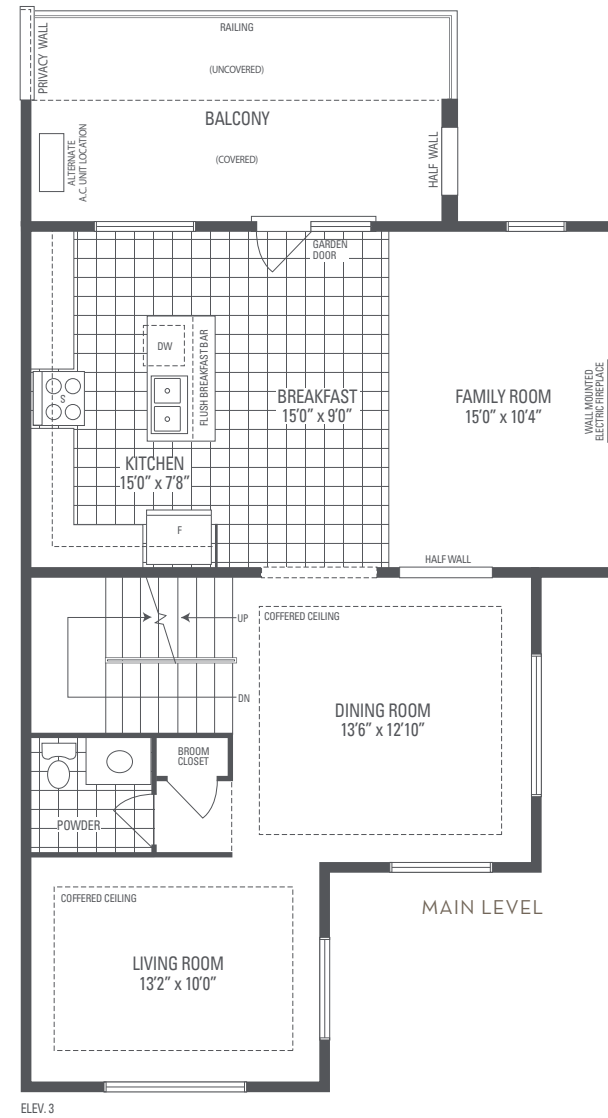
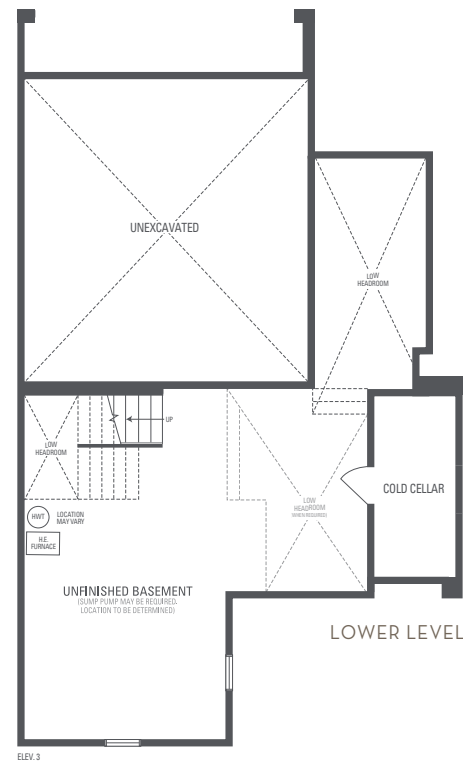
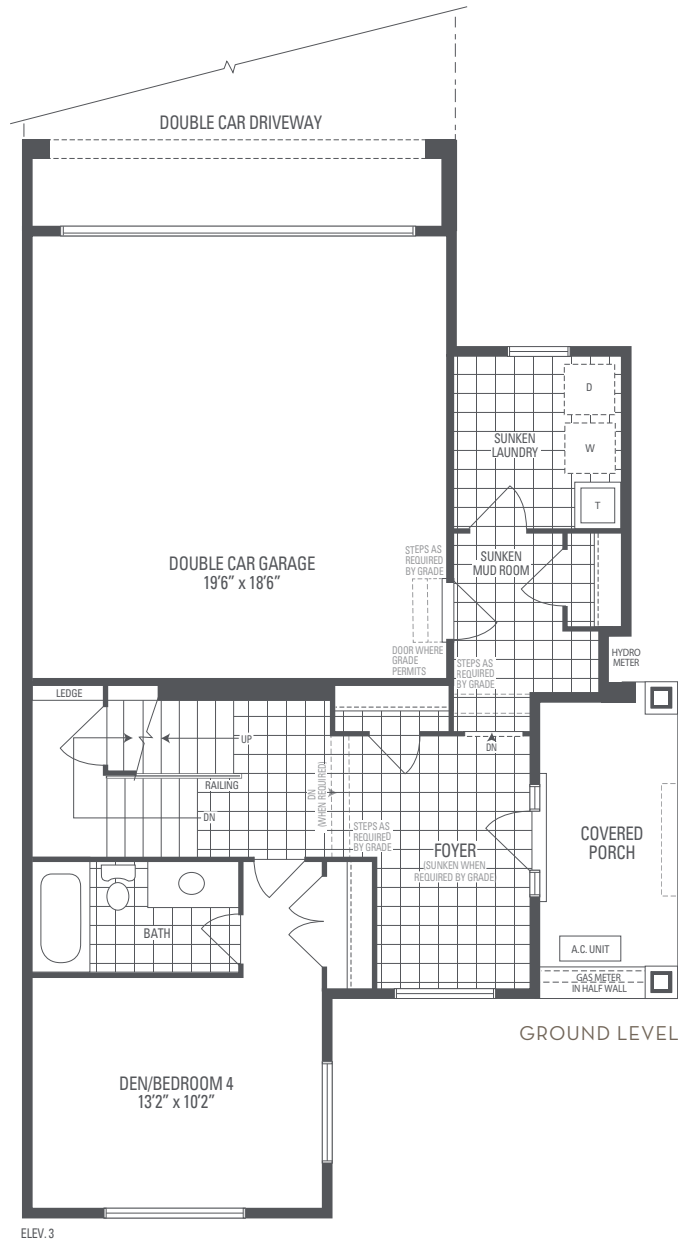


Main exterior building materials for front include: Elev. 1 • Brick + Applied Stucco Tinor Development Corp. • 20'0" • March 2024

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ENCORE 12

Elevation 3 • 2,574 sq.ft.



Main exterior building materials for front include: Elev. 3 • Cultured Stone + Brick + Prefinished Aluminum Siding Tinor Development Corp. • 20'0" • March 2024
 NOTE: Orientation of home may be reversed and purchaser agrees to accept the same. Unit setback and roofline may vary due to siting. Steps may vary at any exterior entrance ways due to grading variance. All dimensions are approximate only and subject to change without notice. Actual usable floor space may vary from stated floor area. All renderings are artist's concept, specifications, architectural and mechanical detailing are subject to minor modifications. Mechanical wall encroachments may be required into finished rooms and garage spaces. E.&O.E.

ENCORE SERIES • SIXTH LINE • BLOCK 32



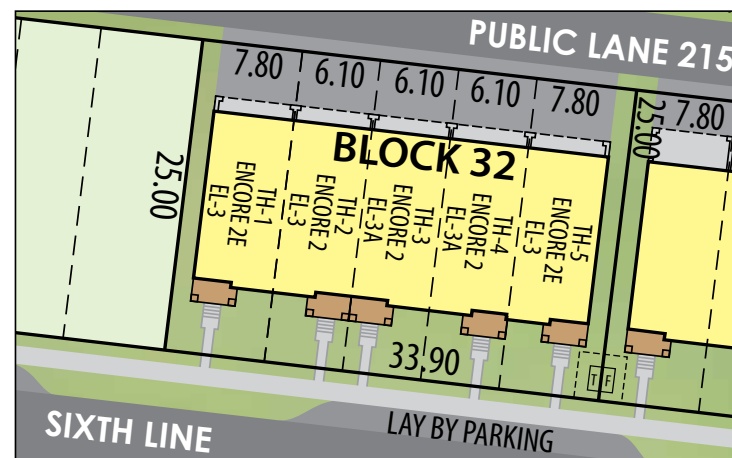
ENCORE 2E
ELEV. 3 • TH-1
2,090 Sq.Ft.

ENCORE 2
ELEV. 3 • TH-2
2,041 Sq.Ft.

ENCORE 2
ELEV. 3A • TH-3
2,041 Sq.Ft.

ENCORE 2
ELEV. 3A • TH-4
2,041 Sq.Ft.

ENCORE 2E
ELEV. 3 • TH-5
2,090 Sq.Ft.



BLOCK 32 • SITE PLAN

Tinor Development Corp. • 20' • March 2024 Unit setback and roofline may vary due to siting. Steps may vary at any exterior entrance ways due to grading variance. All dimensions are approximate only and subject to change without notice. Actual usable floor space may vary from stated floor area. All renderings are artist's concept, specifications, architectural and mechanical detailing are subject to minor modifications. Site plan not to scale and provided for general information only. All details should be confirmed with sales representative and/or municipality. Distances shown are in metres and can be converted to feet by dividing by 0.3048. E.&O.E.

ENCORE SERIES • SIXTH LINE • BLOCK 33



ENCORE 3E
ELEV. 1 • TH-6
2,334 Sq.Ft.

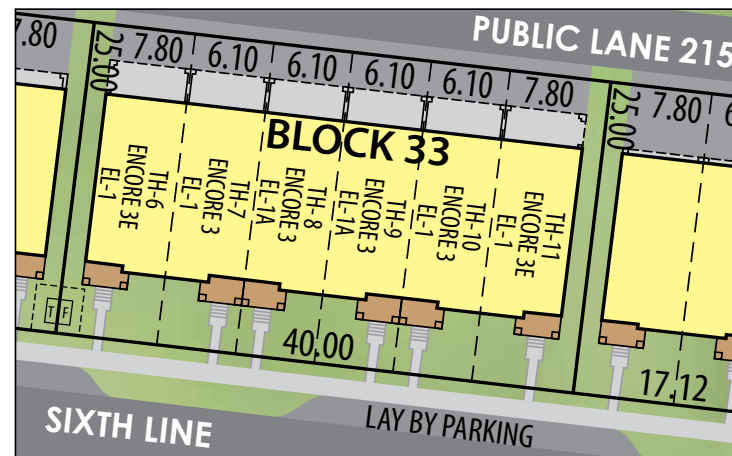
ENCORE 3
ELEV. 1 • TH-7
2,278 Sq.Ft.

ENCORE 3
ELEV. 1A • TH-8
2,270 Sq.Ft.

ENCORE 3
ELEV. 1A • TH-9
2,270 Sq.Ft.

ENCORE 3
ELEV. 1 • TH-10
2,278 Sq.Ft.

ENCORE 3E
ELEV. 1 • TH-11
2,334 Sq.Ft.



BLOCK 33 • SITE PLAN

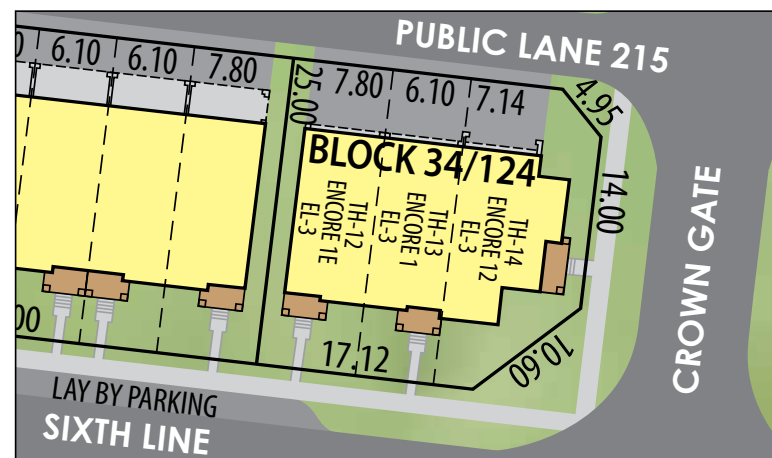
ENCORE SERIES • SIXTH LINE • BLOCK 34/124



ENCORE 1E
ELEV. 3 • TH-12
1,953 Sq.Ft.

ENCORE 1
ELEV. 3 • TH-13
1,905 Sq.Ft.

ENCORE 12
ELEV. 3 • TH-14
2,574 Sq.Ft.



ENCORE 12 • ELEV. 3 TH-14 FLANKAGE ELEVATION



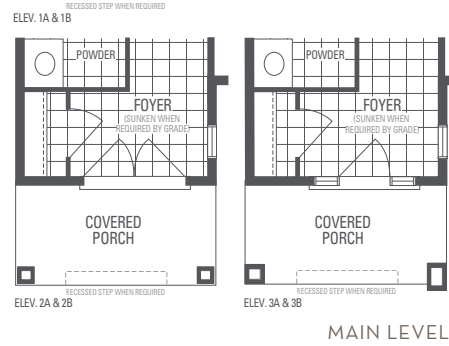
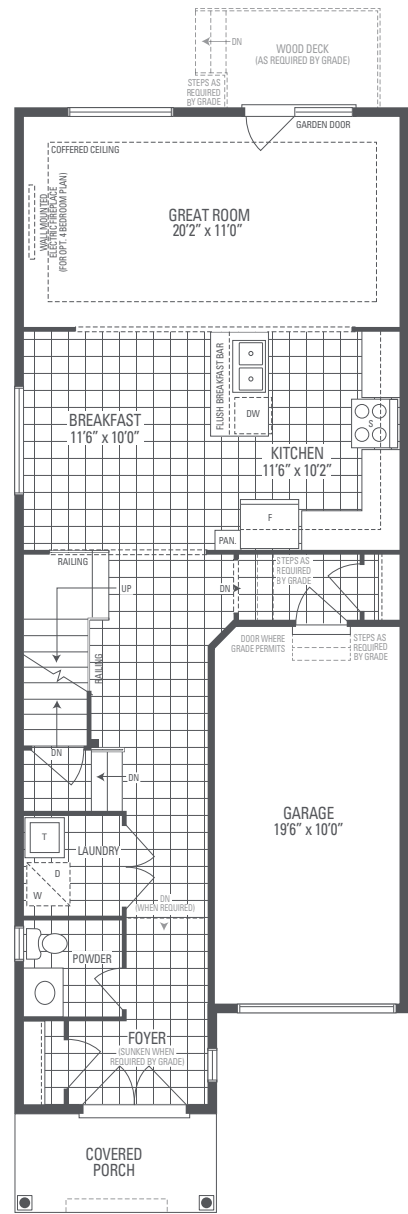
LOTUS 3
 Elevation 1A, 2A, 3A • 2,012 sq.ft. | Elevation 1B, 2B, 3B • 2,002 sq.ft.

Main exterior building materials for front include: Elev. 1 • Cultured Stone + Brick, Elev. 2 • Cultured Stone + Brick, Elev. 3 • Cultured Stone + Brick + Prefinished Aluminum Siding
 Tinor Development Corp. • 25'6" • March 2024

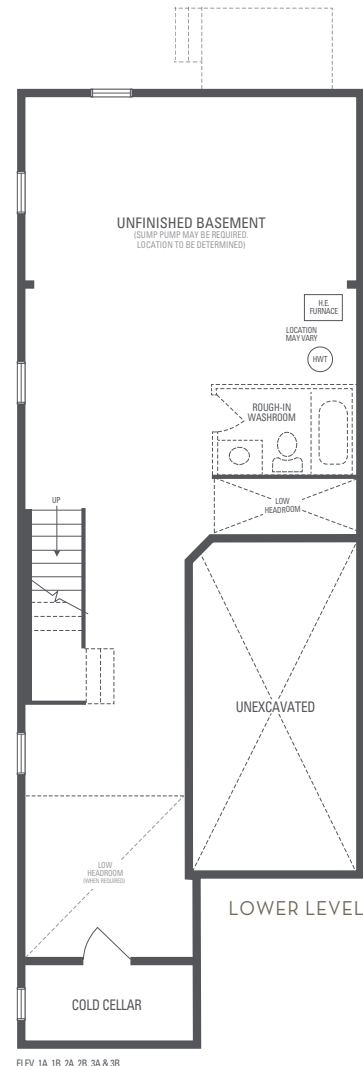
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LOTUS 3

Elevation 1A, 2A, 3A • 2,012 sq.ft. | Elevation 1B, 2B, 3B • 2,002 sq.ft.

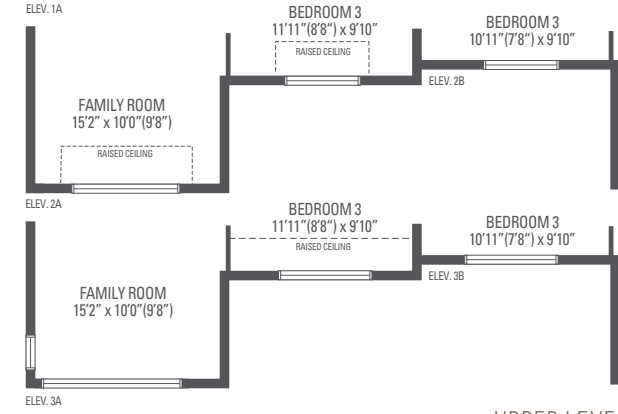
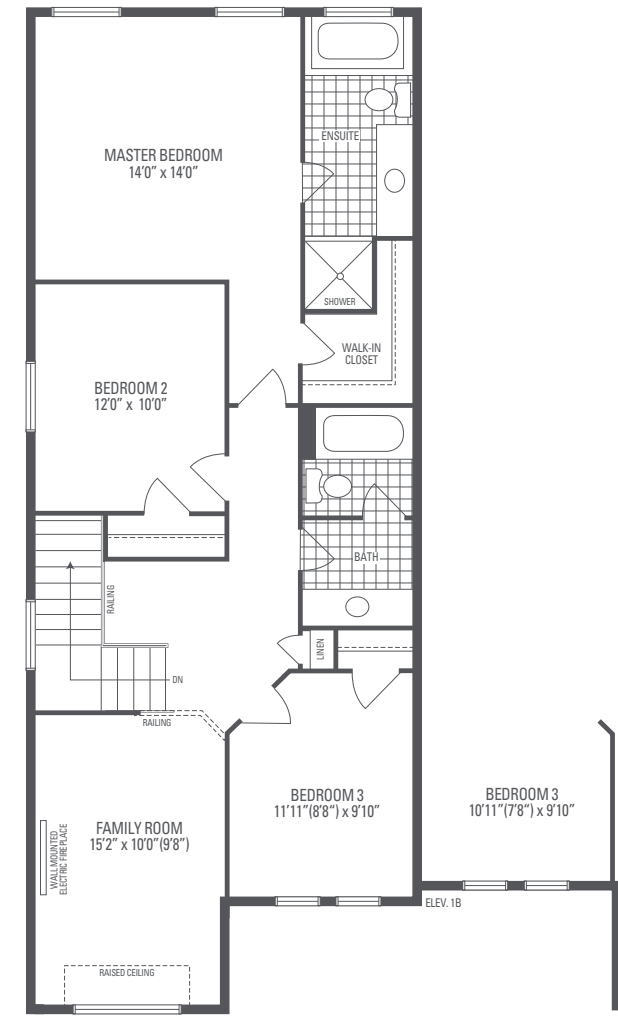


MAIN LEVEL

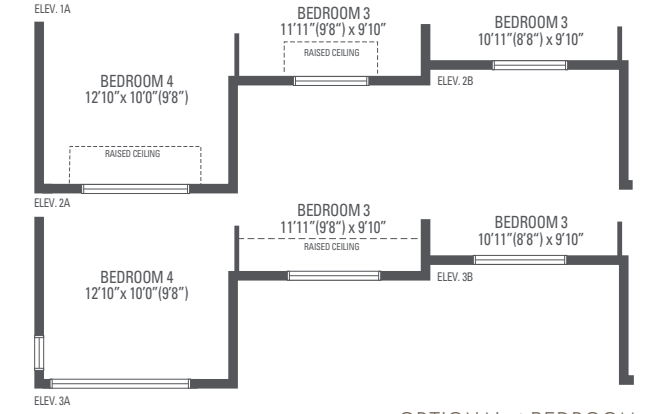
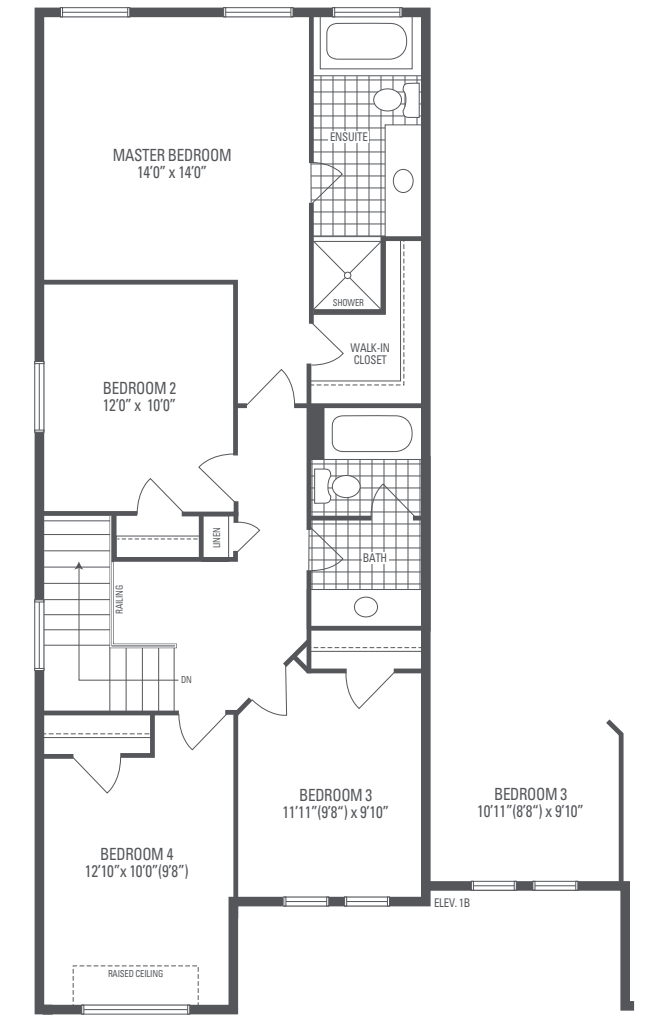


ELEV. 1A, 1B, 2A, 2B, 3A & 3B

LOWER LEVEL



UPPER LEVEL



UPPER LEVEL

OPTIONAL 4 BEDROOM UPPER LEVEL



LOTUS 4

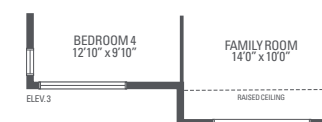
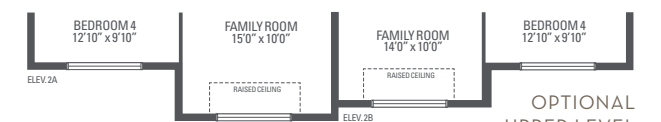
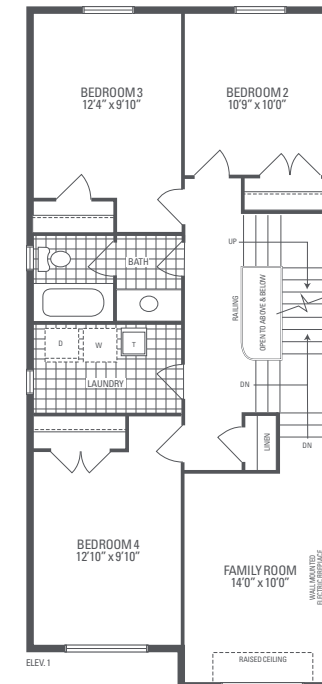
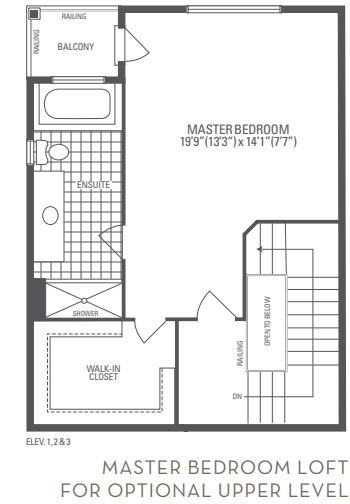
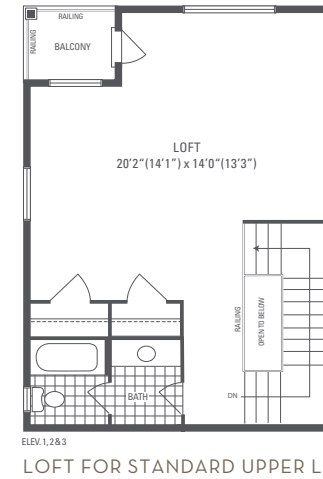
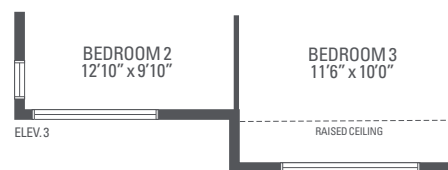
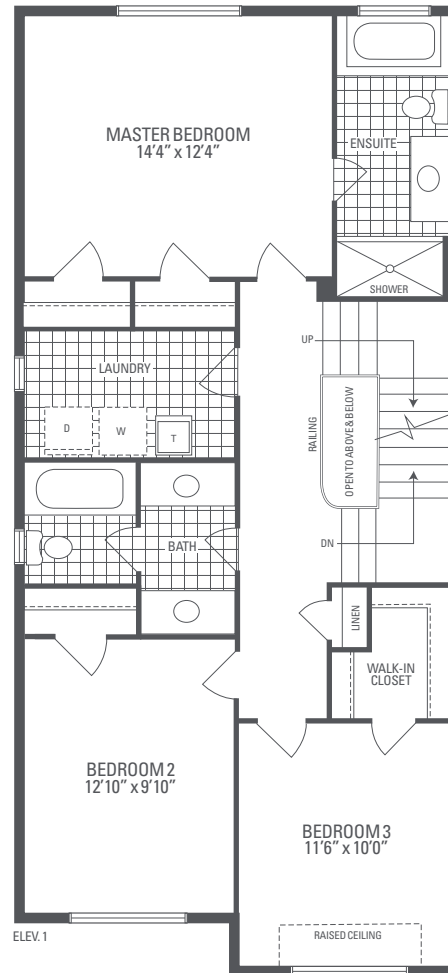
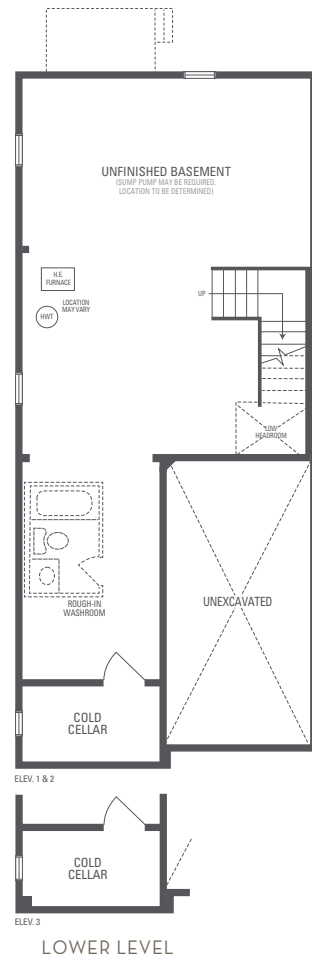
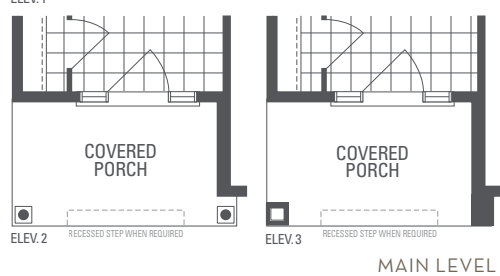
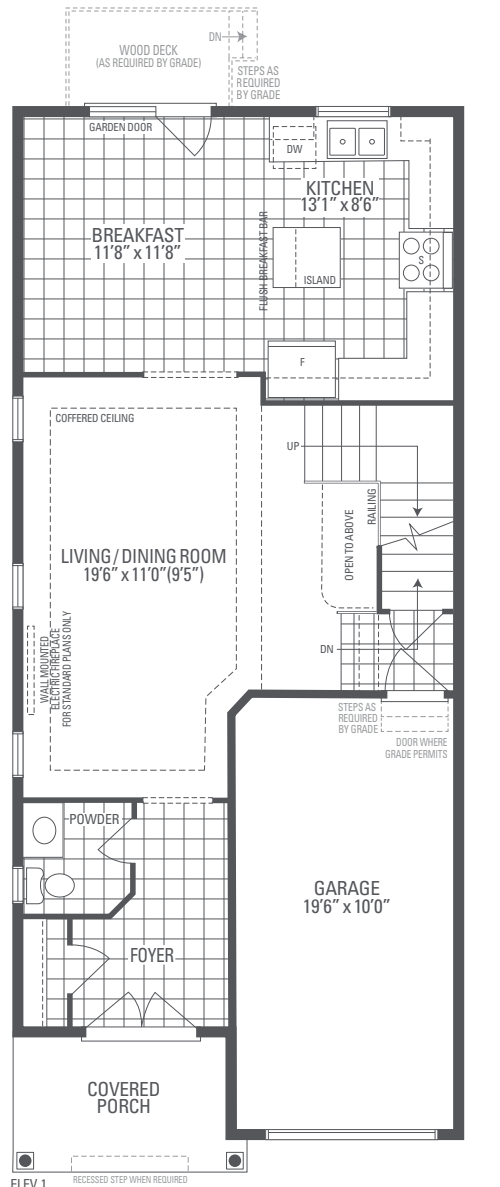
Elevation 1 • 2,305 sq.ft. | Elevation 2A • 2,316 sq.ft., Elevation 2B • 2,305 sq.ft. | Elevation 3 • 2,305 sq.ft.

Main exterior building materials for front include: Elev. 1 • Brick, Elev. 2 • Cultured Stone + Brick, Elev. 3 • Cultured Stone + Brick + Prefinished Aluminum Siding
 Tinor Development Corp. • 25'6" • March 2024

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LOTUS 4

Elevation 1 • 2,305 sq.ft. | Elevation 2A • 2,316 sq.ft., Elevation 2B • 2,305 sq.ft. | Elevation 3 • 2,305 sq.ft.





ELEVATION. 3



ELEVATION. 1



ELEVATION. 2

PRESTON 4A

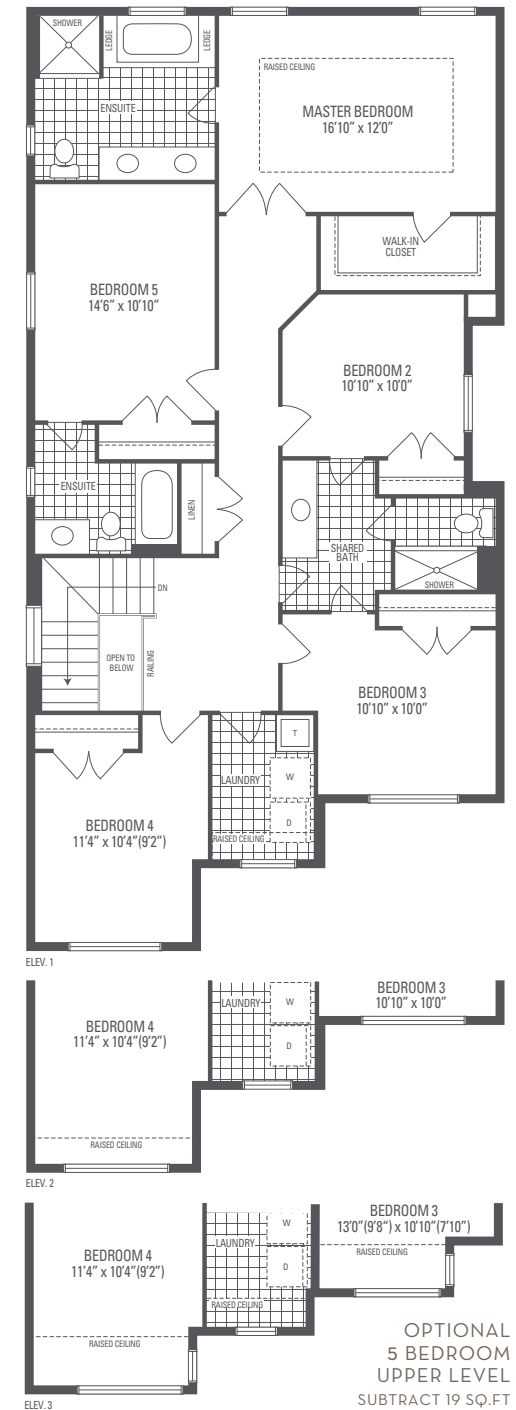
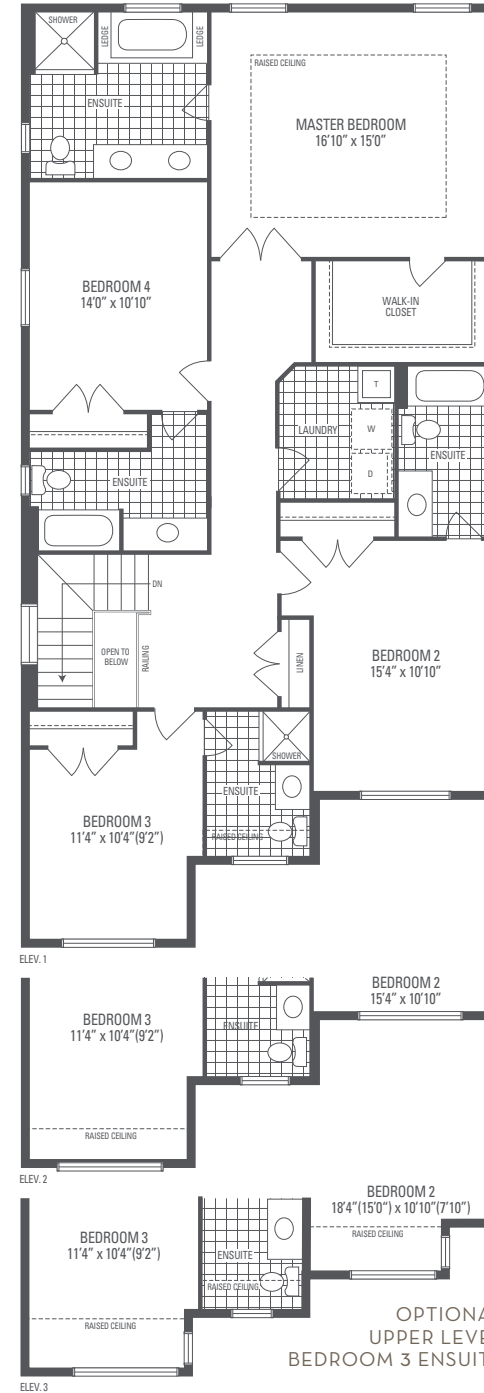
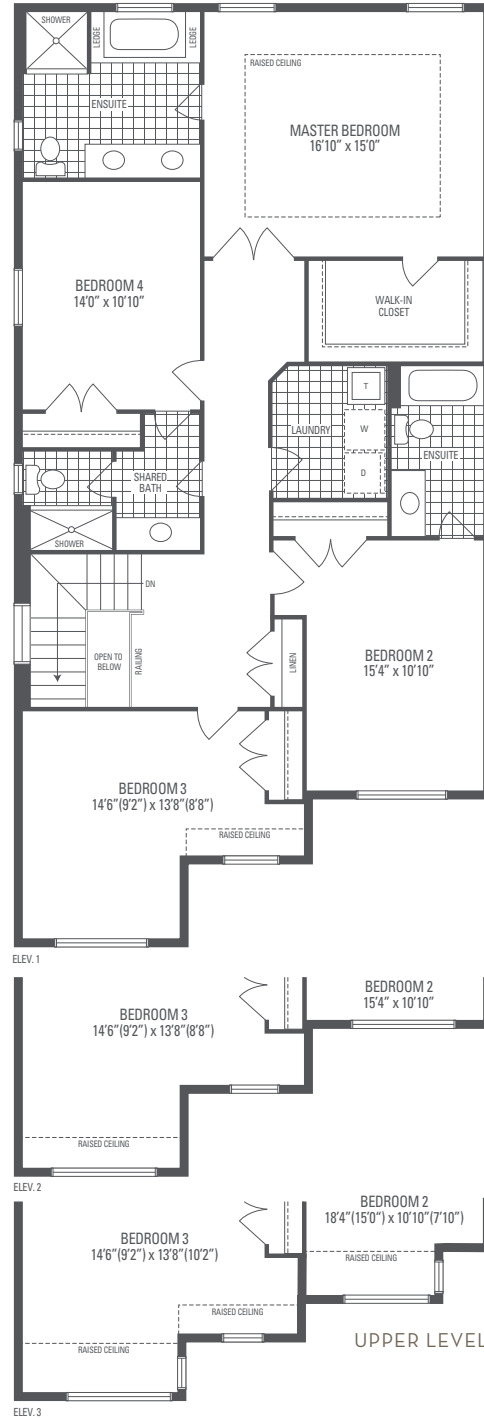
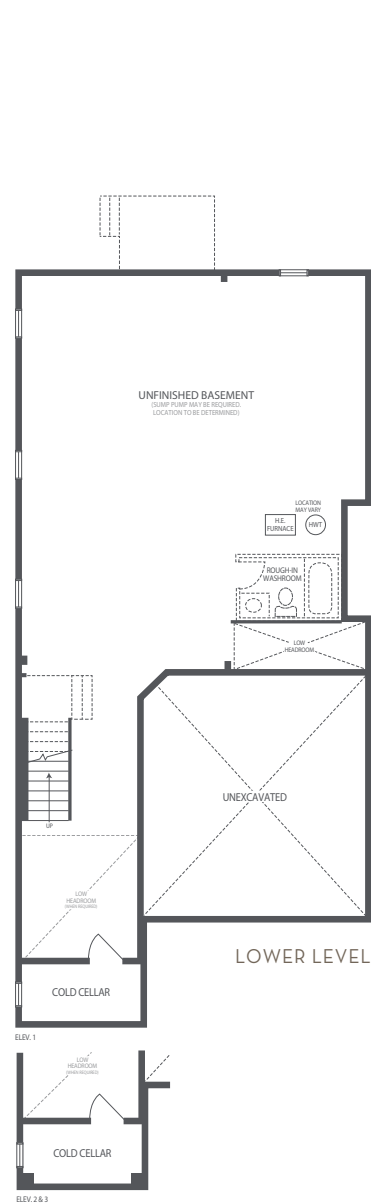
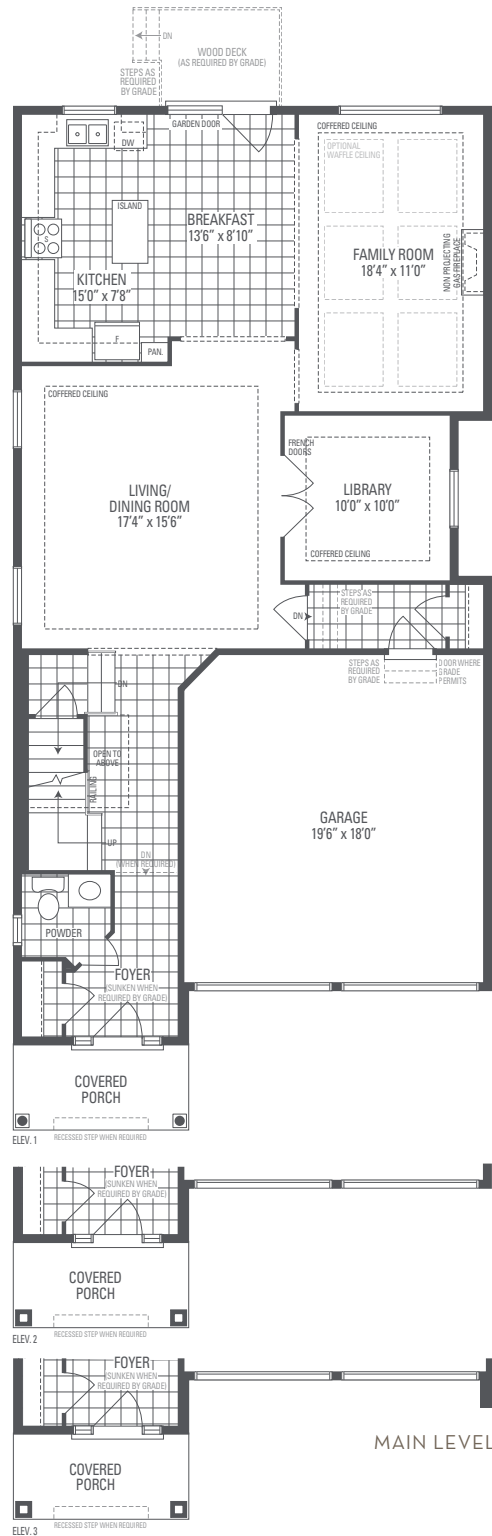
Elevation 1 • 2,860 sq.ft. | Elevation 2 • 2,860 sq.ft. | Elevation 3 • 2,894 sq.ft.

Main exterior building materials for front include: Elev. 1 • Cultured Stone + Brick, Elev. 2 • Cultured Stone + Brick + Painted Wood Products, Elev. 3 • Cultured Stone + Brick + Prefinished Aluminum Siding
Tinor Development Corp. • 36' • March 2024

NOTE: Orientation of home may be reversed and purchaser agrees to accept the same. Unit setback and roofline may vary due to siting. Steps may vary at any exterior entrance ways due to grading variance. All dimensions are approximate only and subject to change without notice. Actual usable floor space may vary from stated floor area. All renderings are artist's concept, specifications, architectural and mechanical detailing are subject to minor modifications. Mechanical wall encroachments may be required into finished rooms and garage spaces. E.&O.E.

PRESTON 4A

Elevation 1 • 2,860 sq.ft. | Elevation 2 • 2,860 sq.ft. | Elevation 3 • 2,894 sq.ft.





ELEVATION. 1



ELEVATION. 2



ELEVATION. 3

PRESTON 5A

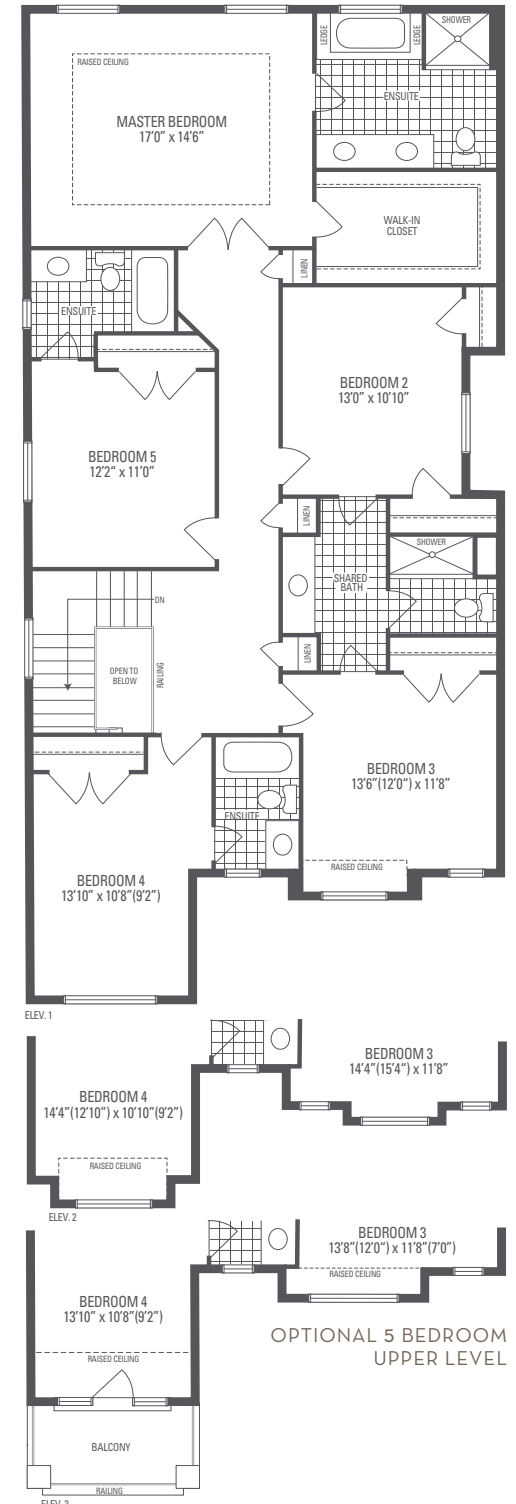
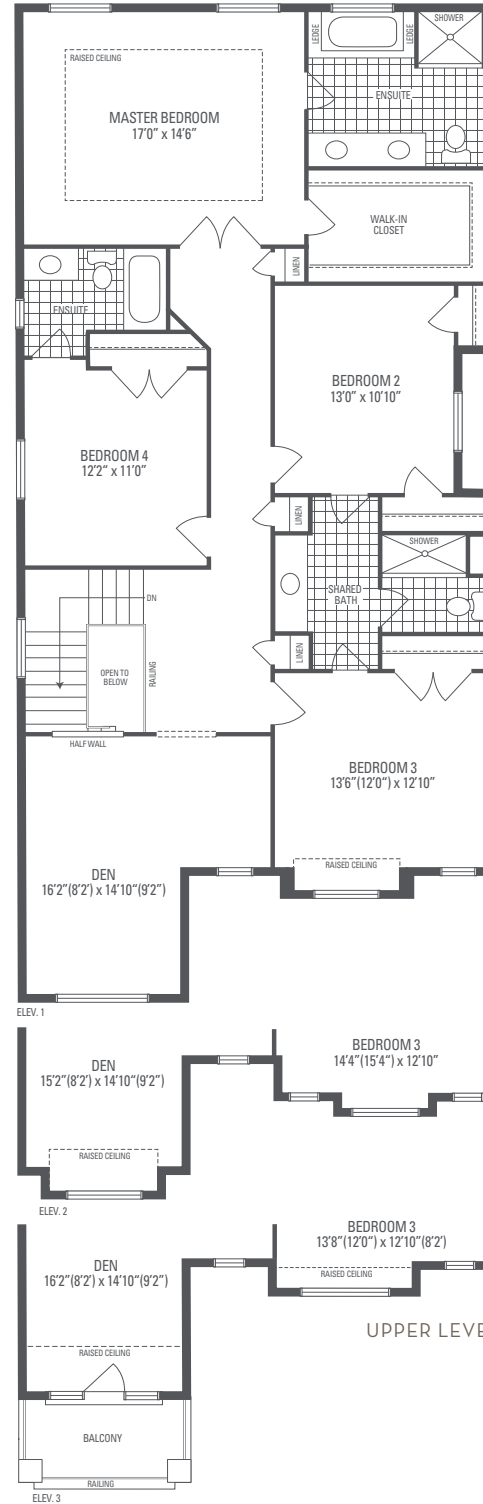
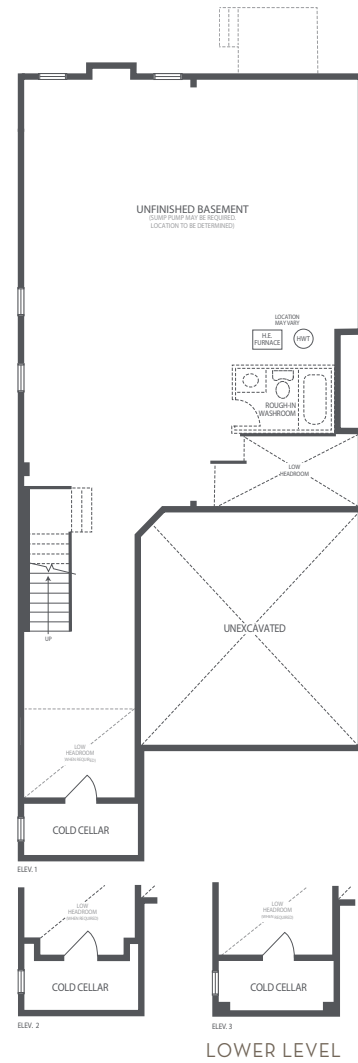
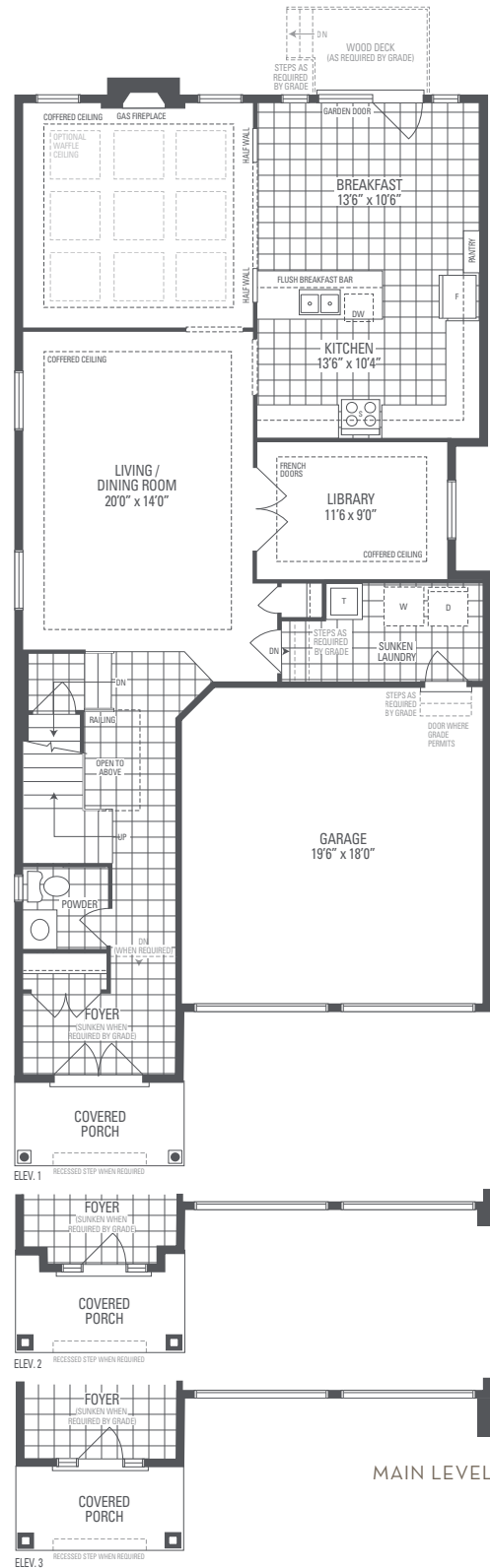
Elevation 1 • 3,107 sq.ft. | Elevation 2 • 3,137 sq.ft. | Elevation 3 • 3,111 sq.ft.

Main exterior building materials for front include: Elev. 1 • Cultured Stone + Brick, Elev. 2 • Cultured Stone + Brick + Painted Wood Products, Elev. 3 • Cultured Stone + Brick + Prefinished Aluminum Siding
Tinor Development Corp. • 36' • March 2024

NOTE: Orientation of home may be reversed and purchaser agrees to accept the same. Unit setback and roofline may vary due to siting. Steps may vary at any exterior entrance ways due to grading variance. All dimensions are approximate only and subject to change without notice. Actual usable floor space may vary from stated floor area. All renderings are artist's concept, specifications, architectural and mechanical detailing are subject to minor modifications. Mechanical wall encroachments may be required into finished rooms and garage spaces. E.&O.E.

PRESTON 5A

Elevation 1 • 3,107 sq.ft. | Elevation 2 • 3,137 sq.ft. | Elevation 3 • 3,111 sq.ft.





ELEVATION 1

PRESTON 11A

Elevation 1 • 3,009 sq.ft.

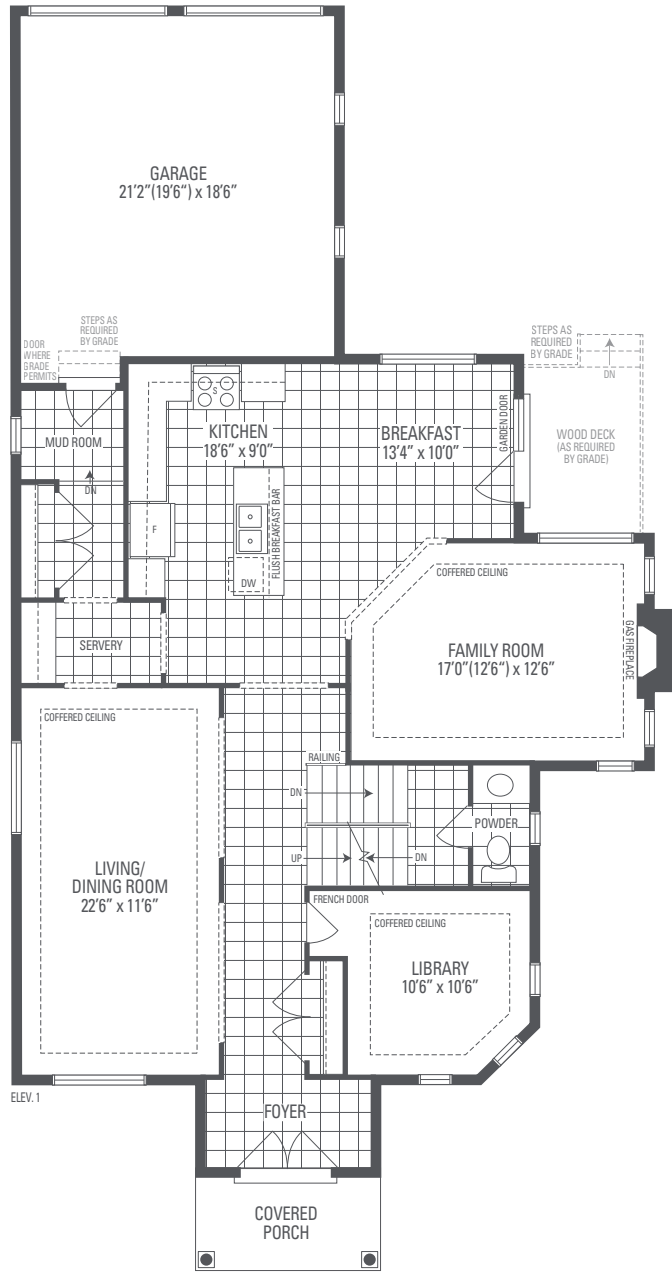
Main exterior building materials for front include: Elev. 1 • Cultured Stone + Brick
Tinor Development Corp. • 36' • March 2024

NOTE: Orientation of home may be reversed and purchaser agrees to accept the same. Unit setback and roofline may vary due to siting. Steps may vary at any exterior entrance ways due to grading variance. All dimensions are approximate only and subject to change without notice. Actual usable floor space may vary from stated floor area. All renderings are artist's concept, specifications, architectural and mechanical detailing are subject to minor modifications. Mechanical wall encroachments may be required into finished rooms and garage spaces. E.&O.E.

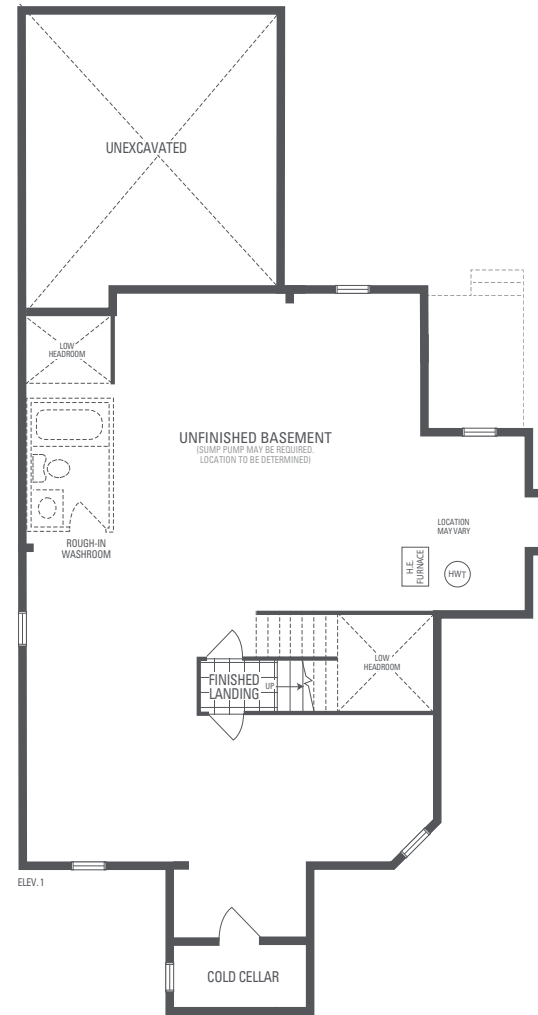
PRESTON 11A

Elevation 1 • 3,009 sq.ft.

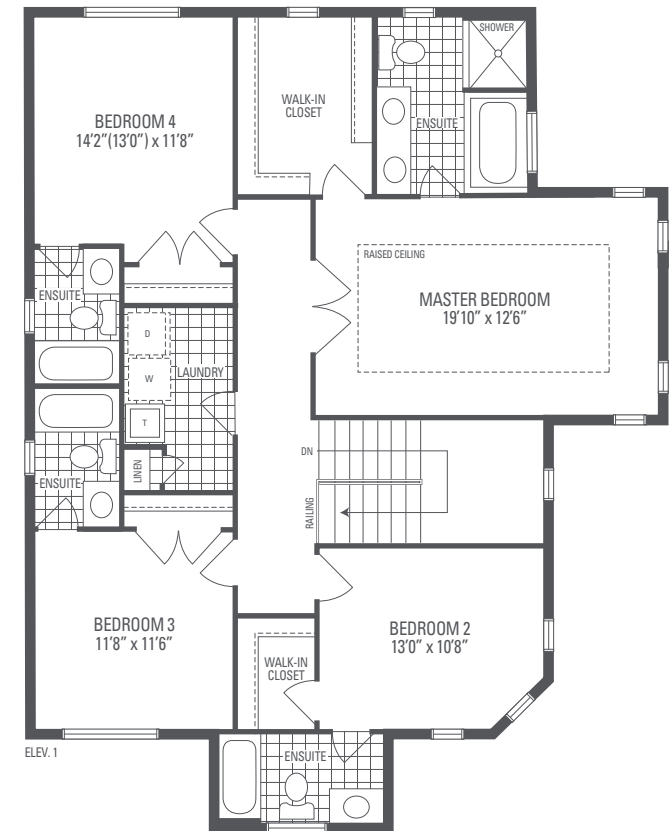
(Add 23 sq.ft. of Finished Basement Landing)



MAIN LEVEL



LOWER LEVEL



UPPER LEVEL



GRANDVIEW 20

Elevation 1 • 3,017 sq.ft.

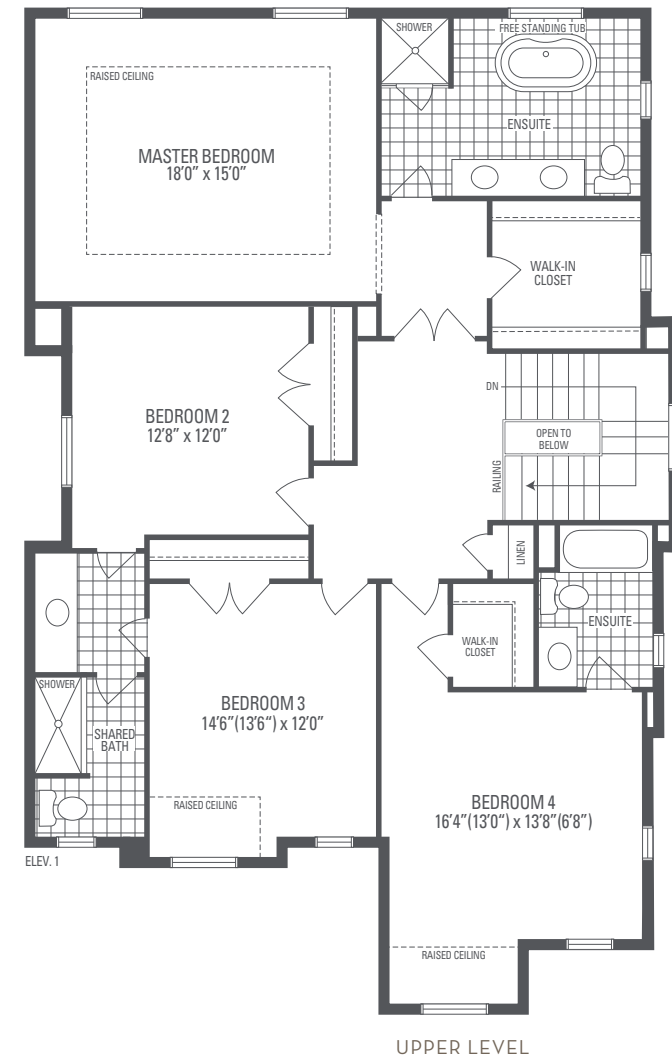
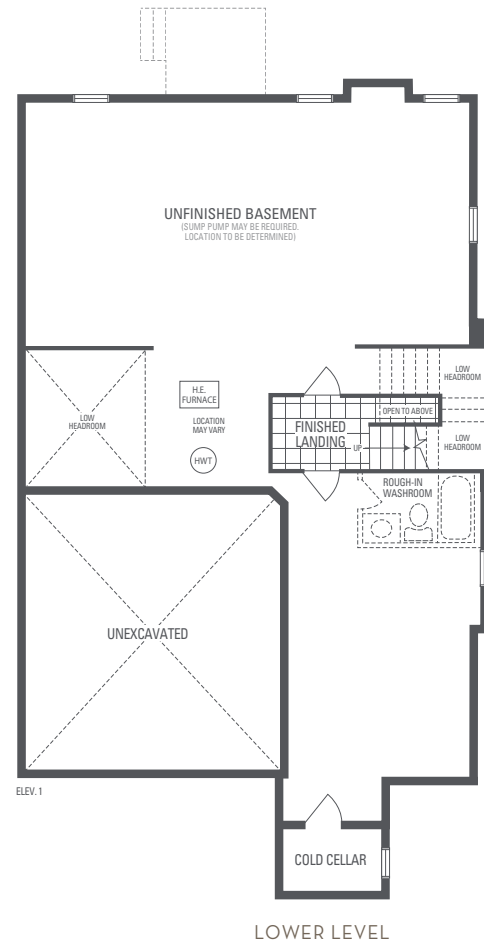
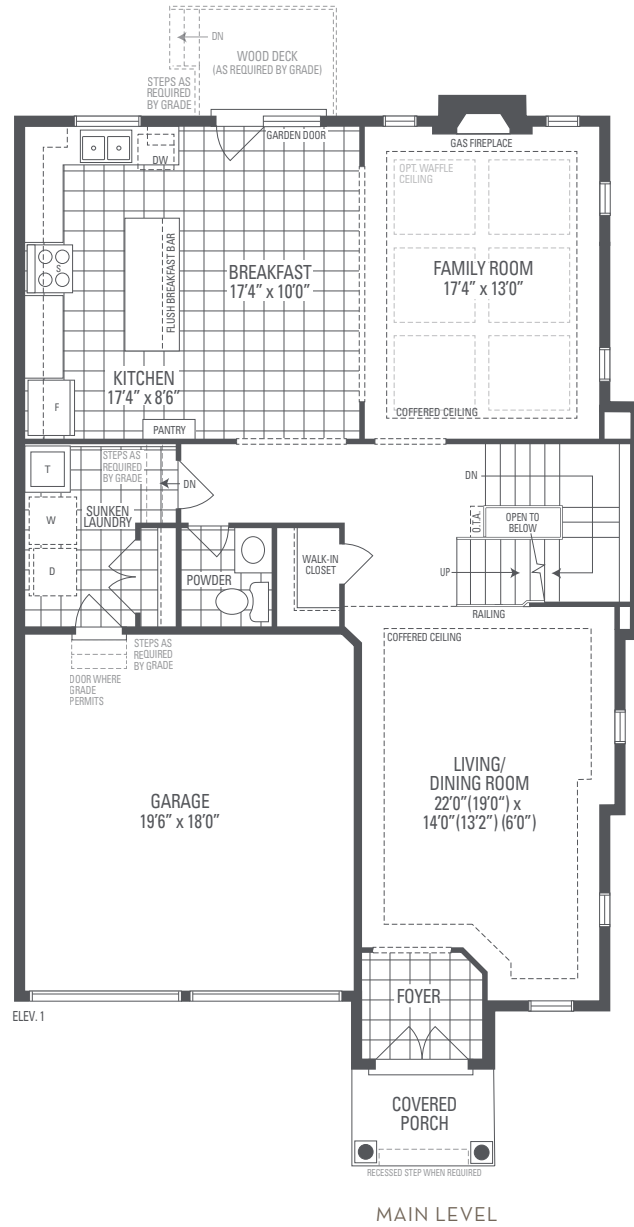
Main exterior building materials for front include: Elev. 1 • Cultured Stone + Brick
Tinor Development Corp. • 42' • March 2024

NOTE: Orientation of home may be reversed and purchaser agrees to accept the same. Unit setback and roofline may vary due to siting. Steps may vary at any exterior entrance ways due to grading variance. All dimensions are approximate only and subject to change without notice. Actual usable floor space may vary from stated floor area. All renderings are artist's concept, specifications, architectural and mechanical detailing are subject to minor modifications. Mechanical wall encroachments may be required into finished rooms and garage spaces. E.&O.E.

GRANDVIEW 20

Elevation 1 • 3,017 sq.ft.

(Add 55 sq.ft. of Finished Basement Landing)





ELEVATION. 3



ELEVATION. 1



ELEVATION. 2

RIVIERA 1

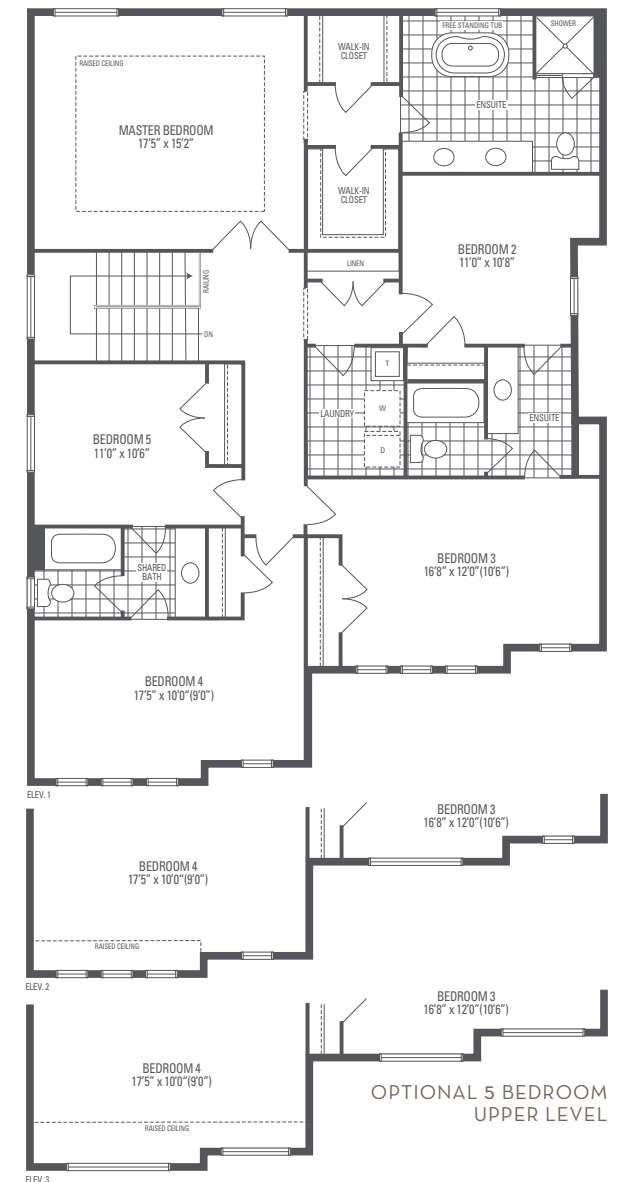
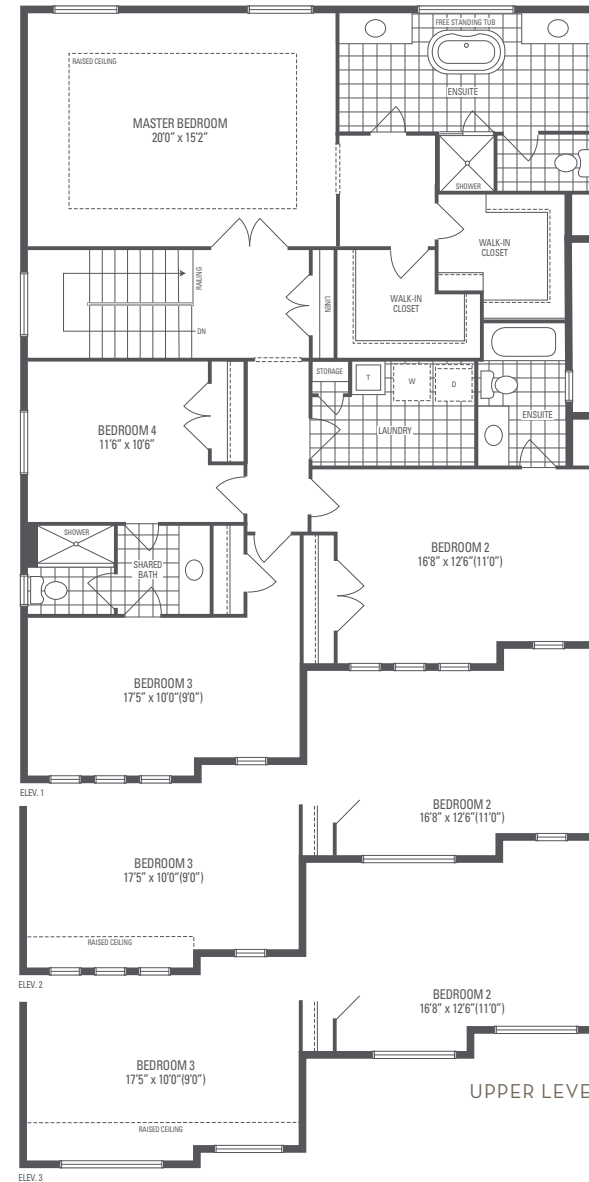
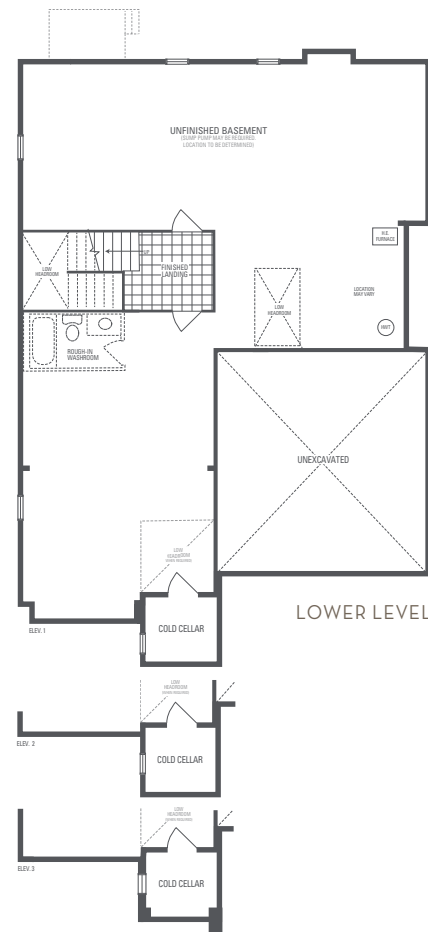
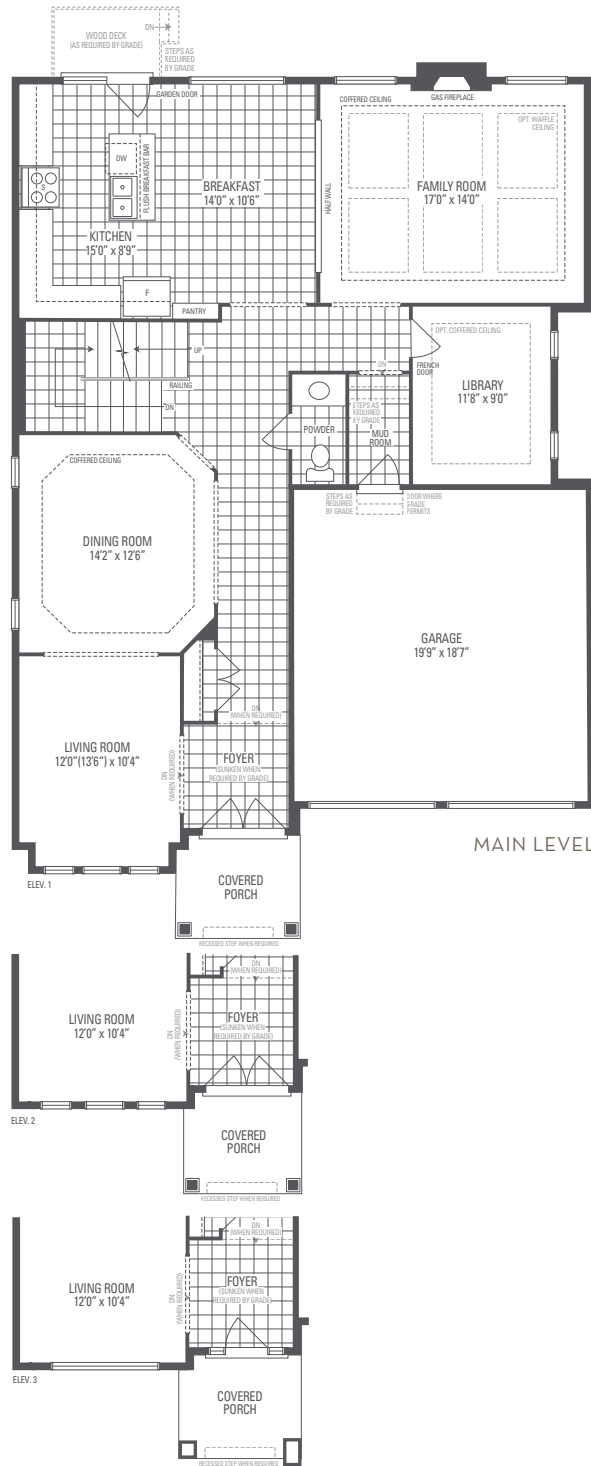
Elevation 1 • 3,344 sq.ft. | Elevation 2 • 3,328 sq.ft. | Elevation 3 • 3,326 sq.ft.

Main exterior building materials for front include: Elev. 1 • Cultured Stone + Brick, Elev. 2 • Cultured Stone + Brick, Elev. 3 • Cultured Stone + Brick + Prefinished Aluminum Siding
 Tinor Development Corp. • 45' • March 2024

NOTE: Orientation of home may be reversed and purchaser agrees to accept the same. Unit setback and roofline may vary due to siting. Steps may vary at any exterior entrance ways due to grading variance. All dimensions are approximate only and subject to change without notice. Actual usable floor space may vary from stated floor area. All renderings are artist's concept, specifications, architectural and mechanical detailing are subject to minor modifications. Mechanical wall encroachments may be required into finished rooms and garage spaces. E.&O.E.

RIVIERA 1

Elevation 1 • 3,344 sq.ft. | Elevation 2 • 3,328 sq.ft. | Elevation 3 • 3,326 sq.ft.
 (Add 65 sq.ft. of Finished Basement Landing)





ELEVATION. 2



ELEVATION. 1



ELEVATION. 3

RIVIERA 2

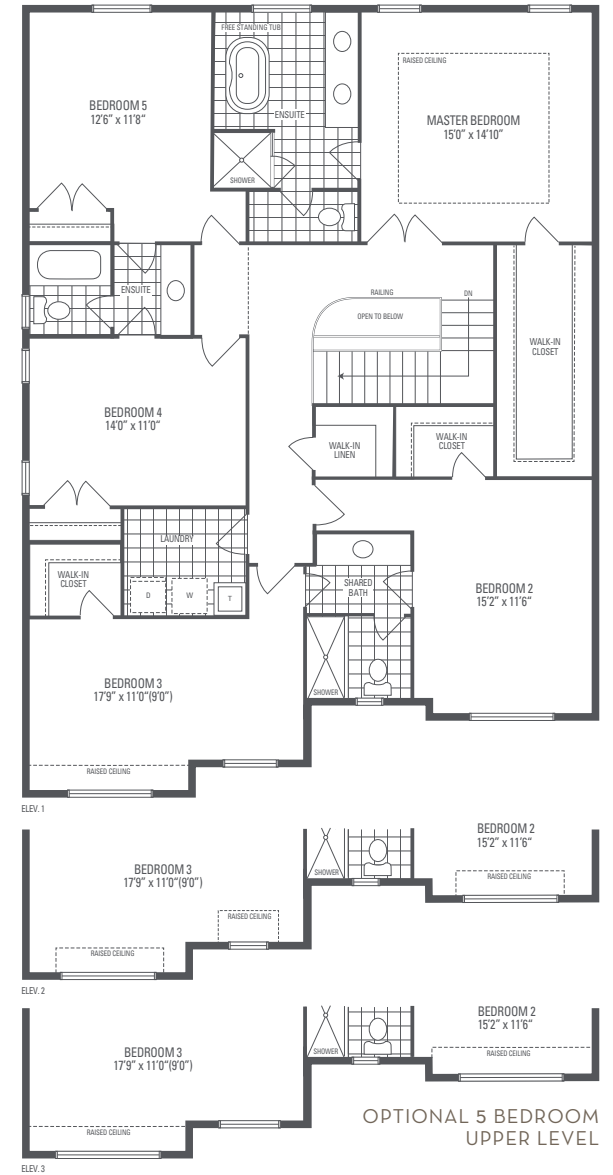
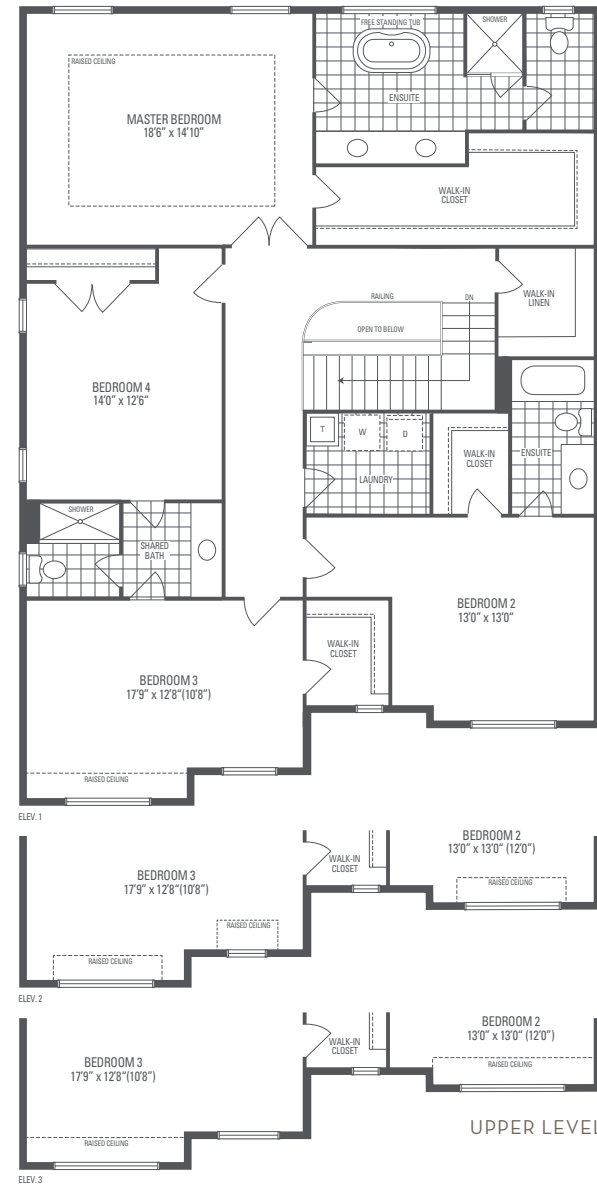
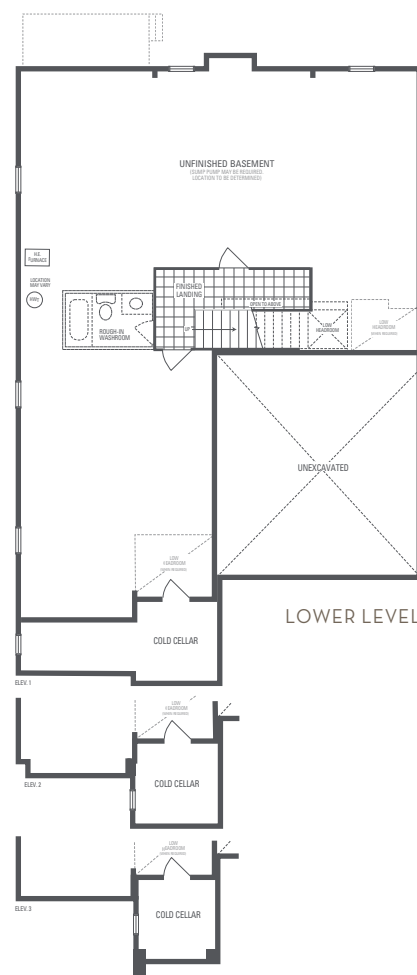
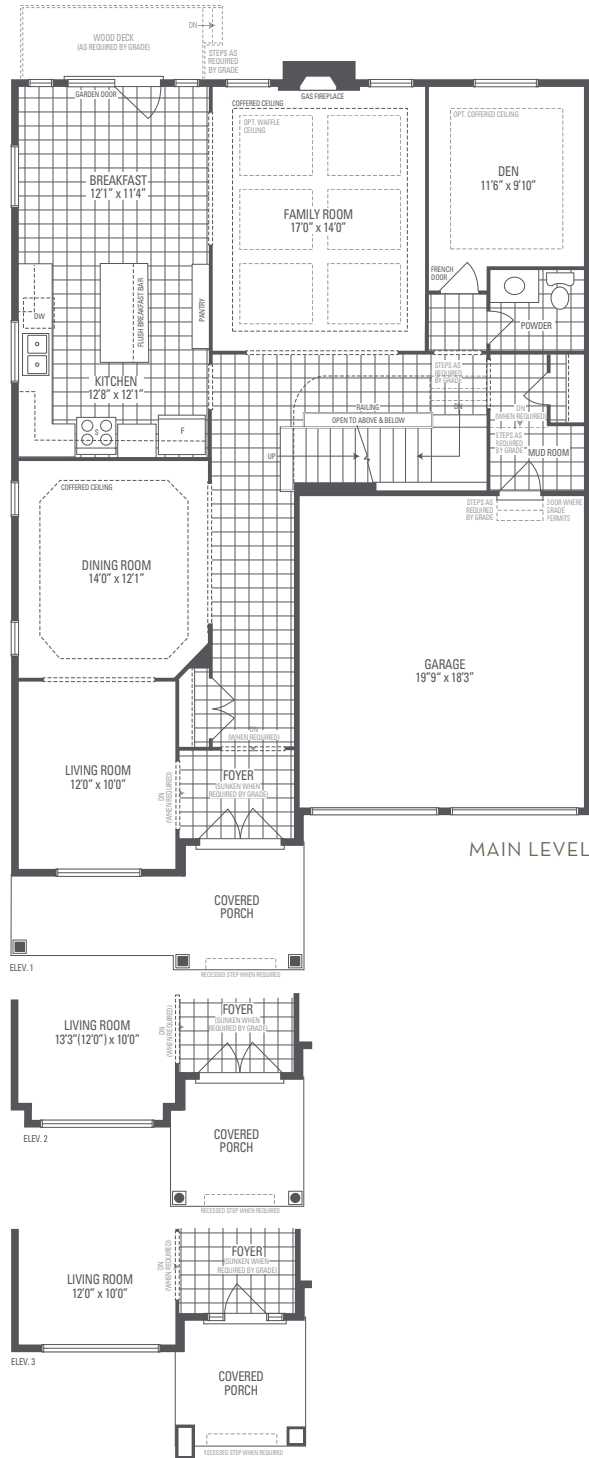
Elevation 1 • 3,458 sq.ft. | Elevation 2 • 3,471 sq.ft. | Elevation 3 • 3,458 sq.ft.

Main exterior building materials for front include: Elev. 1 • Cultured Stone + Brick, Elev. 2 • Cultured Stone + Brick + Painted Wood Products, Elev. 3 • Cultured Stone + Brick + Prefinished Aluminum Siding
Tinor Development Corp. • 45' • March 2024

NOTE: Orientation of home may be reversed and purchaser agrees to accept the same. Unit setback and roofline may vary due to siting. Steps may vary at any exterior entrance ways due to grading variance. All dimensions are approximate only and subject to change without notice. Actual usable floor space may vary from stated floor area. All renderings are artist's concept, specifications, architectural and mechanical detailing are subject to minor modifications. Mechanical wall encroachments may be required into finished rooms and garage spaces. E.&O.E.

RIVIERA 2

Elevation 1 • 3,458 sq.ft. | Elevation 2 • 3,471 sq.ft. | Elevation 3 • 3,458 sq.ft.
 (Add 74 sq.ft. of Finished Basement Landing)





ELEVATION. 3

RIVIERA 12

Elevation 3 • 3,519 sq.ft.

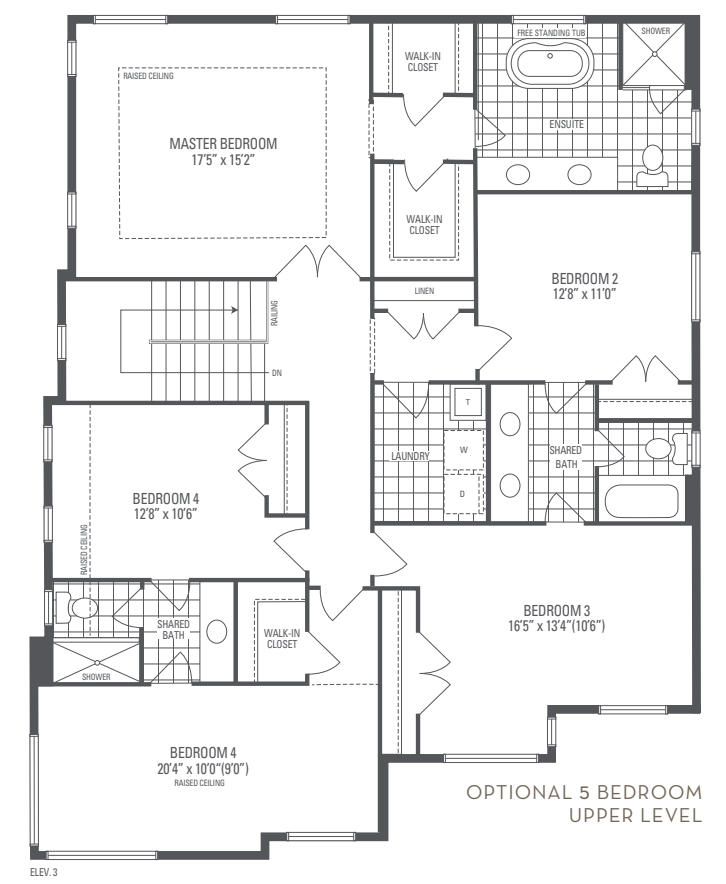
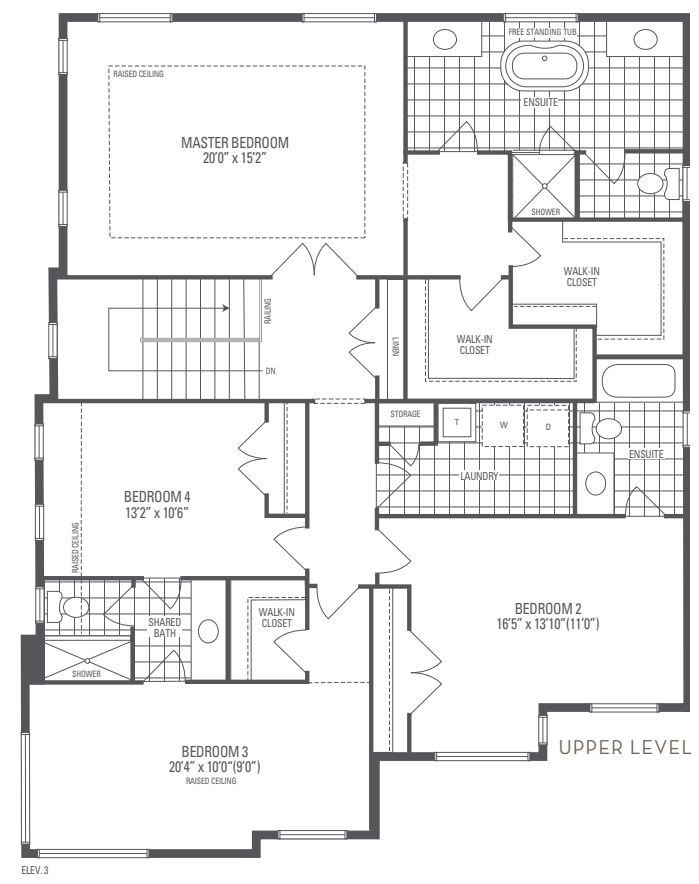
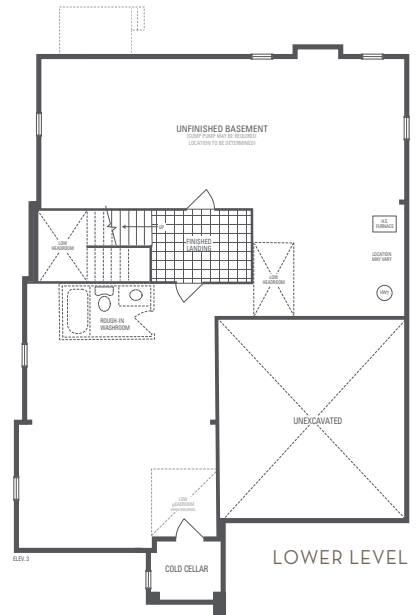
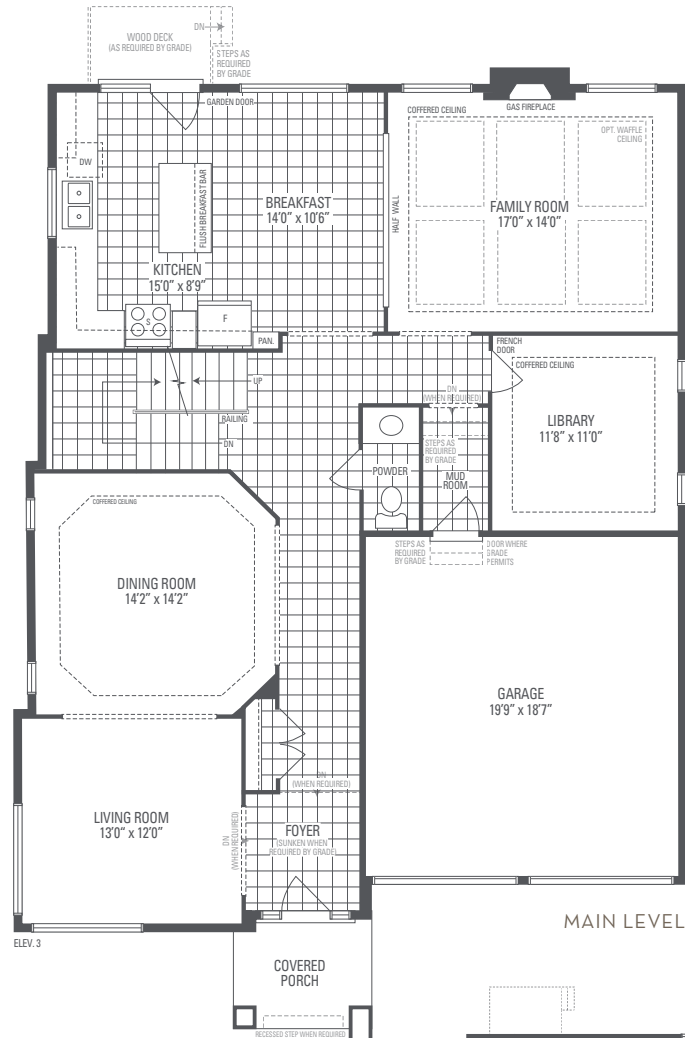
Main exterior building materials for front include:
Elev. 3 • Cultured Stone + Brick + Prefinished Aluminum Siding
Tinor Development Corp. • 45' • March 2024

NOTE: Orientation of home may be reversed and purchaser agrees to accept the same. Unit setback and roofline may vary due to siting. Steps may vary at any exterior entrance ways due to grading variance. All dimensions are approximate only and subject to change without notice. Actual usable floor space may vary from stated floor area. All renderings are artist's concept, specifications, architectural and mechanical detailing are subject to minor modifications. Mechanical wall encroachments may be required into finished rooms and garage spaces. E.&O.E.

RIVIERA 12

Elevation 3 • 3,519 sq.ft.

(Add 86 sq.ft. of Finished Basement Landing)





ENCORE SERIES & LOTUS SERIES | QUALITY FEATURES

20' REAR LANE TOWNHOMES 25'6" SEMI-DETACHED

EXTERIOR

1. Basement foundation walls are poured concrete with heavy duty damp proofing and a superior free draining membrane wrap.
2. Poured concrete front porches with upgraded brick ledge precast steps as per plans and elevations, loose precast concrete steps will be used when grading requires less than three (3) steps.
3. Poured reinforced concrete garage floor slab.
4. The walkway from the driveway to the front entry and the rear patio (where applicable) are of patterned precast slabs.
5. All exterior wall construction is designed to meet or exceed all Ontario Building Code requirements; exterior walls will be of 2" x 6" wall studs.
6. Basement walls will be insulated near full height to R-20.
7. Attic insulation will be blown in at R-60 and exposed floors will be spray foamed to R-31.
8. All window and doorframes and building perforations are caulked with Dymeric type caulking.
9. All windows (excluding basement) are Energy Star rated white or coloured vinyl thermal pane casement windows with pre-finished white or coloured colonial bars (on front elevations only), as per exterior colour scheme. All operable windows to have insect screens.
10. Metal insulated front entry door with inset glass pane lite complete with weather stripping, deadbolt lock and grip set.
11. Pre-finished aluminum soffits, fascia, eavestroughs and downspouts.
12. Premium moulded panelled sectional roll up garage doors in a variety of enhanced designs with inset door lites (as per plans and elevations) with long life hardware.
13. Front, rear and side yards are fully sodded (where applicable, side yards may be gravel in lieu of sod at builder's discretion) and driveways (where applicable) are paved.
14. Self sealing quality architectural asphalt roof shingles with manufacturer's limited life-time warranty.
15. Steep roof pitches to enhance elevations.
16. Antique-style black finish coach lights on front elevations and detached garages.
17. Dead bolt locks for all exterior swinging doors to dwelling units.
18. Pre-finished, long lasting front porch railings (if required by design or grade)
19. Friezeboards on front elevations as per plans and brochures.
20. All brick veneer construction is 100% all clay brick, elevations also feature cultured stone, stucco, aluminum siding and traditional wood detailing as per plans and elevations.
21. Brick veneer installed above all windows on side and rear elevations (where applicable as per plans and elevations).
22. Architecturally controlled elevations, materials, streetscapes and exterior colour schemes for the purpose of creating an aesthetically pleasing community.

INTERIOR

23. Cold Cellars as per plans.
24. All archways are flat and trimmed (where applicable) for added durability and are 7'-8" in height.
25. All interior wood trim and woodwork is primed and painted (choice of one) Birch or Oyster.
26. Choice of (one) interior passage locks; satin nickel knobs or satin nickel lever handle with privacy locks for all bathrooms. Front door gripset(s) in satin nickel.
27. Choice of interior passage doors: textured raised six panel square top or textured raised two panel curved top.
28. Ceilings in all rooms are to be finished with textured spray finish with smooth boarders except for kitchen, breakfast/dinette areas and bathrooms that will have a smooth finish for easy maintenance.
29. Quality latex paint on interior walls (two selections per home) from builder's samples.
30. All closets have pre-finished melamine shelving and metal dowels.
31. Quality constructed and furniture finished kitchen cabinetry with full backing, underblocking and quality hardware. Colour matched kickplates, full gable ends and dummy doors on peninsulas and islands, flush or raised breakfast bars (as per plans where applicable).
32. Elegant Upgraded 41 inch high upper kitchen cabinet doors (with standard bulkhead above).
33. Fourty (40") tall mirrors above all vanities.
34. Colour matched ceramic accessories; towel bar, tissue dispenser and soap dish in all bathrooms.
35. Elegant natural finish oak railings, upgraded 3- 1/2" newel posts and upgraded 1-3/4" oak pickets from first to second floor (where applicable).
36. Master bedrooms complete with an ensuite bathroom as per plans.
37. All drywall applied with screws, using a minimum number of nails and drywall clips for upper hall ceilings to minimize repairs in the future.

38. All sub-floors are tongue and groove; nailed and glued down.
39. Roof truss beams with hurricane ties to minimize truss uplift and repairs in the future.
40. The first and second floor will be framed with an engineered wood floor joist system for optimum performance and quality.
41. Heavy upgraded colonial trim with 2-3/4" wide casing with integral backband and 4-1/4" high baseboards.
42. Quality imported ceramic tiles for the ground floor (Encore Series only) and main floor in the foyer, kitchen, breakfast area, powder room, main or second floor laundry rooms and throughout the main hall, where applicable as per our brochures.
43. Elegant builder's standard quality laminate flooring throughout the ground floor (Encore series only), and main floor (where applicable) except for those areas covered by ceramic tile (as per brochures).
44. Builder's upgrade 1 high quality Broadloom for areas not covered by ceramic or laminate flooring or ceramic tile as per brochures.
45. Ceiling height on the ground floor (Encore Series only), main floor, second floor and third floor/loft (for Lotus 4 only) will be 9' high.
46. Quality imported ceramic tile on upstairs bathroom floors, bathtub and shower enclosure walls up to and including the ceilings (except for deck tubs which include the full height walls only).
47. Poured concrete floor in the basement with a floor drain by the furnace and in the cold room(s) as per plan.
48. Wall mounted Electric Fireplace as per plans and brochures.
49. Complete central air conditioning for the Encore Series only

PLUMBING

50. Upgraded ledgeback double compartment stainless steel sink in the kitchen with upgraded Moen chrome finish single lever faucet with pullout spray.
51. Laundry rooms on the main or second floors have single basin laundry tubs mounted with full base cabinets and upper cabinets for storage above.
52. All laundry rooms have hot and cold water and drain provisions for future automatic clothes washer.
53. Exterior water taps, with inside shut-off valves, located at the rear of the house and in the garage.
54. White lavatory sinks, water closets and bathtubs.
55. Luxurious acrylic bath and soaker tubs as per plans and brochures.
56. Premium Moen washerless chrome single lever faucets for all bathroom lavatory sinks with manufacturer's limited long-term warranty.
57. Shower with prefabricated base and standard 2-panel acrylic door for family bath and ensuite.
58. Moen chrome single lever pressure balance/temperature controlled shower faucets for safety and comfort.
59. All sinks and water closets have water shut-off valves for serviceability and convenience.
60. Full height shower backer board for ceramic tiles in all shower enclosures as per plan.
61. Efficient water saving water closets that comply with the most recent building codes.
62. Water supply and drain provisions for future dishwasher in the kitchen.
63. Rough-in drain provisions for future 3-piece washroom in the basement.
64. Rough-in refrigerator water supply line for the Encore Series only.

ELECTRICAL

65. All copper wiring throughout the home.
66. 100 amp. electrical service with circuit breaker panel.
67. White Decora switches and plugs throughout the house.
68. Interior light fixtures in every room, hallway and walk-in closets excluding living rooms or great rooms where switched wall receptacles are provided for future lamps.
69. Recessed shower potlight in all separate shower stalls.
70. All bathroom electrical receptacles with a ground fault detector circuit for safety around water.
71. An exterior weatherproof electrical receptacle in the rear yard and front porch (where applicable).
72. Split-circuit electrical outlets above the kitchen counter for future small appliances.
73. Heavy Duty cable and receptacle for future stove and dryer.
74. Interconnected smoke alarms on each level including the basement as per the Ontario Building Code.
75. Carbon Monoxide Detector(s) as per the Ontario Building Code.

76. Electrical outlet(s) in the garage ceiling for future garage door opener(s).
77. Front door electric door chime.
78. Rough-in central vacuum system (dropped to the basement) with dedicated electrical outlet in the attached garages or basement where applicable.
79. Rough-in electrical wire for future dishwasher in the kitchen.
80. Two-speed white kitchen exhaust fan vented to the outside (6" in diameter).
81. All bathrooms (with or without windows) have exhaust fans vented to the outside.
82. High efficiency, spark ignition, forced air gas furnace or air handler (Encore Series only). High Efficiency Natural Gas fired Water Heater (on a rental basis).
83. All supply ducts and return air ducts are sized and ready for future central air conditioning.

SMART HOME AUTOMATION FEATURES

84. One (1) Smart Home Hub controller.
85. One (1) front door smart doorbell camera with 2-way talk function.
86. One (1) smart thermostat, centrally located to control heating and cooling that can save money on utility bills.
87. One (1) flood sensor to notify you in the case of a flood and prevent further damage to your home.
88. One (1) smart light wall switch.
89. One (1) year free of smart home remote access and full home Smart System support.
90. Pre-Construction design consultation.
91. On-site system configuration test, enrollment and demonstration.
92. Rough-in telecommunications/network wiring in all bedrooms, kitchen and the family room or great room.
93. Please see flyer or speak to our sales agent for more details.

WARRANTY

Starlane Home Corporation is a registered TARION Homebuilder in good standing and every new home is enrolled in the TARION warranty program and the warranty includes:

- The home is free from defects in material and workmanship for one (1) year.
- The home remains free from defects in material and workmanship on electrical, plumbing, heating delivery and distribution systems, exterior cladding, caulking, windows and doors, and the building envelope and basement remains free from water penetration for two (2) years.
- The home is warranted against all major structural defects for seven (7) years.

CERTIFIED MASTER BUILDER

Starlane Home Corporation has been awarded the Certified Master Builder designation by the Residential Construction Council of Central Ontario (RESCON), this designation is awarded on the basis of:



- Outstanding efforts in the areas of construction and customer service.
- Recipients have, and continue to exceed the provisions of the Ontario Building Code.
- Starlane Home Corporation has been recognized as an exceptional low-rise builder within the industry.

NOTES

- All illustrations are artist's concepts.
- The purchaser acknowledges that the floor plan may be reversed.
- The purchaser acknowledges that the specifications, landscaping, finishes and furnishings etc. in the model home(s) or sales offices may be for display purposes only and may not be of the similar grade or type or not necessarily included in the purchase of the home.
- The vendor reserves the right to substitute materials that are of equal or better quality.
- The purchaser acknowledges that variations in colour and shade uniformity may occur in finished materials, kitchen and vanity cabinets and floor and wall finishes due to normal production processes. E. & O.E.

PRESTON “A” SERIES | QUALITY FEATURES

36’ SINGLES

EXTERIOR

1. Basement foundation walls are poured concrete with heavy duty damp proofing and a superior free draining membrane wrap.
2. Poured concrete front porches with upgraded brick ledge precast steps as per plans and elevations, loose precast concrete steps will be used when grading requires less than three (3) steps.
3. Poured reinforced concrete garage floor slab.
4. The walkway from the driveway to the front entry and the rear patio (where applicable) are of patterned precast slabs.
5. All exterior wall construction is designed to meet or exceed all Ontario Building Code requirements; exterior walls will be of 2” x 6” wall studs.
6. Basement walls will be insulated near full height to R-20.
7. Attic insulation will be blown in at R-60 and exposed floors will be spray foamed to R-31.
8. All window and doorframes and building perforations are caulked with Dymeric type caulking.
9. All windows (excluding basement) are Energy Star rated white or coloured vinyl thermal pane casement windows with pre-finished white or coloured colonial bars (on front elevations only), as per exterior colour scheme. All operable windows to have insect screens.
10. Metal insulated front entry door with inset glass pane lite complete with weather stripping, deadbolt lock and grip set.
11. Pre-finished aluminum soffits, fascia, eavestroughs and downspouts.
12. Premium moulded paneled sectional roll up garage doors in a variety of enhanced designs with inset door lites (as per plans and elevations) with long life hardware.
13. Front, rear and side yards are fully sodded (where applicable, side yards may be gravel in lieu of sod at builder’s discretion) and driveways (where applicable) are paved.
14. Self sealing quality architectural asphalt roof shingles with manufacturer’s limited life-time warranty.
15. Steep roof pitches to enhance elevations.
16. Antique-style black finish coach lights on front elevations and detached garages.
17. Dead bolt locks for all exterior swinging doors to dwelling units.
18. Pre-finished, long lasting front porch railings (if required by design or grade).
19. Friezeboards on front elevations as per plans and brochures.
20. All brick veneer construction is 100% all clay brick, elevations also feature cultured stone, stucco, aluminum siding and traditional wood detailing as per plans and elevations.
21. Brick veneer installed above all windows on side and rear elevations (where applicable as per plans and elevations).
22. Architecturally controlled elevations, materials, streetscapes and exterior colour schemes for the purpose of creating an aesthetically pleasing community.

INTERIOR

23. Cold Cellars as per plans.
24. All archways are flat and trimmed (where applicable) for added durability and are 7’-8” in height.
25. All interior wood trim and woodwork is primed and painted (choice of one) Birch or Oyster.
26. Choice of (one) interior passage locks; satin nickel knobs or satin nickel lever handle with privacy locks for all bathrooms. Front door gripset(s) in satin nickel.
27. Choice of interior passage doors: textured raised six panel square top or textured raised two panel curved top.
28. Ceilings in all rooms are to be finished with a textured spray finish with smooth boarders except for kitchen, breakfast/dinette areas, and bathrooms that will have a smooth finish for easier maintenance.
29. Quality latex paint on interior walls (two selections per home) from builder’s samples.
30. All closets have pre-finished melamine shelving and metal dowels.
31. Elegant Builder’s quality constructed and furniture finished kitchen cabinetry with full backing, underblocking and quality hardware. Colour matched kickplates, full gable ends and dummy doors on peninsulas and islands, flush or raised breakfast bars (as per plans where applicable).
32. Builder’s standard selection laminate countertops in the kitchen and servery (where applicable) with drop in kitchen sink. Standard arborite countertops in the powder room and bathrooms.
33. Elegant 41 inch high upper kitchen cabinet doors (with standard bulkhead above).
34. Fourty (40”) tall mirrors above all vanities.
35. Colour matched ceramic accessories; towel bar, tissue dispenser and soap dish in all bathrooms.
36. Elegant natural finish oak railings, upgraded 3-1/2” newel posts and upgraded 1-3/4” oak pickets from first to second floor.
37. Master bedrooms complete with an ensuite bathroom as per plans.

38. All drywall applied with screws, using a minimum number of nails and drywall clips for upper hall ceilings to minimize repairs in the future.
39. All sub-floors are tongue and groove; nailed and glued down.
40. Roof truss beams with hurricane ties to minimize truss uplift and repairs in the future.
41. The first and second floor will be framed with an engineered wood floor joist system for optimum performance and quality.
42. Gas Fireplace and Wood Mantel as per plans and brochures.
43. Heavy upgraded colonial trim with 3” wide casing with integral backband and 5-1/4” high baseboards.
44. Quality imported ceramic main floor tiles in the foyer, kitchen, breakfast area, powder room, main or second floor laundry rooms and throughout the main hall, where applicable as per our brochures.
45. Elegant 3-1/4” wide natural finish oak plank flooring throughout the main floor (where applicable) except for those areas covered by ceramic tile (as per brochures).
46. Builder’s upgrade 1 high quality broadloom for second floor areas not covered by plank flooring or ceramic tile as per brochures.
47. Ceiling height on the main floor is 9 feet high with the second floor ceiling height of 9 feet high.
48. Quality imported ceramic tile on upstairs bathroom floors, bathtub and shower enclosure walls up to and including the ceilings (except for deck tubs which include the full height walls only).
49. Poured concrete floor in the basement with a floor drain by the furnace and in the cold room(s) as per plan.

PLUMBING

50. Upgraded ledgeback double compartment stainless steel sink in the kitchen with upgraded Moen chrome finish single lever faucet with pullout spray.
51. Laundry rooms on the main or second floors have single basin laundry tubs mounted with full base cabinets and upper cabinets for storage above.
52. All laundry rooms have hot and cold water and drain provisions for future automatic clothes washer.
53. Exterior water taps, with inside shut-off valves, located at the rear of the house and in the garage or front of the house (where applicable).
54. White lavatory sinks, water closets and bathtubs.
55. Luxurious drop-in soaker bathtub for master bedroom ensuite as per plans and brochure.
56. Shower with prefabricated base and standard 2-panel framed acrylic door for family bath ensuite.
57. Premium Moen washerless chrome single lever faucets for all bathroom lavatory sinks with manufacturer’s limited long-term warranty.
58. Moen chrome single lever pressure balance/temperature controlled shower faucets for safety and comfort.
59. All sinks and water closets have water shut-off valves for serviceability and convenience.
60. Full height shower backer board for ceramic tiles in all shower enclosures as per plan.
61. Efficient water saving water closets that comply with the most recent building codes.
62. Water supply and drain provisions for future dishwasher in the kitchen.
63. Rough-in drain provisions for future 3-piece washroom in the basement.

ELECTRICAL

64. All copper wiring throughout the home.
65. 100 amp. electrical service with circuit breaker panel.
66. White Decora switches and plugs throughout the house.
67. Interior light fixtures in every room, hallway and walk-in closets excluding living rooms or great rooms where switched wall receptacles are provided for future lamps.
68. Recessed shower potlight in all separate shower stalls.
69. All bathroom electrical receptacles with a ground fault detector circuit for safety around water.
70. An exterior weatherproof electrical receptacle in the rear yard and front porch (where applicable).
71. Split-circuit electrical outlets above the kitchen counter for future small appliances.
72. Heavy Duty cable and receptacle for future stove and dryer.
73. Interconnected smoke alarms on each level including the basement as per the Ontario Building Code.
74. Carbon Monoxide Detector(s) as per the Ontario Building Code.
75. Electrical outlet(s) in the garage ceiling for future garage door opener(s).
76. Front door electric door chime.
77. Rough-in central vacuum system (dropped to the basement) with dedicated electrical outlet in the attached garages or basement where applicable.

78. Rough-in electrical wire for future dishwasher in the kitchen.
79. Two-speed white kitchen exhaust fan vented to the outside (6” in diameter).
80. All bathrooms (with or without windows) have exhaust fans vented to the outside.
81. High efficiency, spark ignition, forced air gas furnace with set-back thermostats for the greatest savings, reliability and quite comfort. High Efficiency Natural Gas fired Water Heater (on a rental basis).
82. All supply ducts and return air ducts are sized and ready for future central air conditioning.

SMART HOME AUTOMATION FEATURES

83. One (1) Smart Home Hub controller.
84. One (1) front door smart doorbell camera with 2-way talk function.
85. One (1) smart thermostat, centrally located to control heating and cooling that can save money on utility bills.
86. One (1) flood sensor to notify you in the case of a flood and prevent further damage to your home.
87. One (1) smart light wall switch.
88. One (1) year free of smart home remote access and full home Smart System support.
89. Pre-Construction design consultation.
90. On-site system configuration test, enrollment and demonstration.
91. Rough-in telecommunications/network wiring in all bedrooms, kitchen and the family room or great room.
92. Please see flyer or speak to our sales agent for more details.

WARRANTY

Starlane Home Corporation is a registered TARION Homebuilder in good standing and every new home is enrolled in the TARION warranty program and the warranty includes:

- The home is free from defects in material and workmanship for one (1) year.
- The home remains free from defects in material and workmanship on electrical, plumbing, heating delivery and distribution systems, exterior cladding, caulking, windows and doors, and the building envelope and basement remains free from water penetration for two (2) years.
- The home is warranted against all major structural defects for seven (7) years.

CERTIFIED MASTER BUILDER

Starlane Home Corporation has been awarded the Certified Master Builder designation by the Residential Construction Council of Central Ontario (RESCON), this designation is awarded on the basis of:



- Outstanding efforts in the areas of construction and customer service.
- Recipients have, and continue to exceed the provisions of the Ontario Building Code.
- Starlane Home Corporation has been recognized as an exceptional low-rise builder within the industry.

NOTES

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- The purchaser acknowledges that the floor plan may be reversed.
- The purchaser acknowledges that the specifications, landscaping, finishes and furnishings etc. in the model home(s) or sales offices may be for display purposes only and may not be of the similar grade or type or not necessarily included in the purchase of the home.
- The vendor reserves the right to substitute materials that are of equal or better quality.
- The purchaser acknowledges that variations in colour and shade uniformity may occur in finished materials, kitchen and vanity cabinets and floor and wall finishes due to normal production processes. E. & O.E.

GRANDVIEW 20 & RIVIERA SERIES | QUALITY FEATURES

42' SINGLE

45' SINGLES

EXTERIOR

1. Basement foundation walls are poured concrete with heavy duty damp proofing and a superior free draining membrane wrap.
2. Poured concrete front porches with upgraded brick ledge precast steps as per plans and elevations, loose precast concrete steps will be used when grading requires less than three (3) steps.
3. Poured reinforced concrete garage floor slab.
4. The walkway from the driveway to the front entry and the rear patio (where applicable) are of patterned precast slabs.
5. All exterior wall construction is designed to meet or exceed all Ontario Building Code requirements; exterior walls will be of 2" x 6" wall studs.
6. Basement walls will be insulated near full height to R-20.
7. Attic insulation will be blown in at R-60 and exposed floors will be spray foamed to R-31.
8. All window and doorframes and building perforations are caulked with Dymeric type caulking.
9. All windows (excluding basement) are Energy Star rated white or coloured vinyl thermal pane casement windows with pre-finished white or coloured colonial bars (on front elevations only), as per exterior colour scheme. All operable windows to have insect screens.
10. Metal insulated front entry door with inset glass pane lite complete with weather stripping, deadbolt lock and grip set.
11. Pre-finished aluminum soffits, fascia, eavestroughs and downspouts.
12. Premium moulded paneled sectional roll up garage doors in a variety of enhanced designs with inset door lites (as per plans and elevations) with long life hardware.
13. Front, rear and side yards are fully sodded (where applicable, side yards may be gravel in lieu of sod at builder's discretion) and driveways (where applicable) are paved.
14. Self sealing quality architectural asphalt roof shingles with manufacturer's limited life-time warranty.
15. Steep roof pitches to enhance elevations.
16. Antique-style black finish coach lights on front elevations and detached garages.
17. Dead bolt locks for all exterior swinging doors to dwelling units.
18. Pre-finished, long lasting front porch railings (if required by design or grade).
19. Friezeboards on front elevations as per plans and brochures.
20. All brick veneer construction is 100% all clay brick, elevations also feature cultured stone, stucco, aluminum siding and traditional wood detailing as per plans and elevations.
21. Brick veneer installed above all windows on side and rear elevations (where applicable as per plans and elevations).
22. Architecturally controlled elevations, materials, streetscapes and exterior colour schemes for the purpose of creating an aesthetically pleasing community.

INTERIOR

23. Cold Cellars as per plans.
24. All archways are flat and trimmed (where applicable) for added durability and are and are 8' high for the main floor and 7'-8" in height for the second floor (where applicable).
25. All interior wood trim and woodwork is primed and painted (choice of one) Birch or Oyster.
26. Choice of (one) interior passage locks; satin nickel knobs or satin nickel lever handle with privacy locks for all bathrooms. Front door gripset(s) in satin nickel.
27. Choice of interior passage doors: textured raised six panel square top or textured raised two panel curved top. Front exterior door and all main floor doors are 8' in height.
28. Ceiling for all main floor areas (excluding open to above areas) will have a smooth painted finish. Second floor areas (excluding bathrooms) will have a textured spray finish with smooth boarders.
29. Quality latex paint on interior walls (two selections per home) from builder's samples.
30. All closets have pre-finished melamine shelving and metal dowels.
31. Elegant Builder's quality constructed and furniture finished upgrade 1 kitchen cabinetry with full backing, underblocking and quality hardware. Colour matched kickplates, full gable ends and dummy doors on peninsulas and islands, flush or raised breakfast bars (as per plans where applicable).
32. Builder's standard selection granite countertops in the kitchen and servery (where applicable) with drop in kitchen sink. Standard arborite countertops in the powder room and bathrooms.
33. Elegant 41 inch high upper kitchen cabinet doors with crown moulding.
34. Fourty (40") tall mirrors above all vanities.
35. Colour matched ceramic accessories; towel bar, tissue dispenser and soap dish in all bathrooms.
36. Elegant natural finish oak railings, upgraded 3-1/2" newel posts and upgraded 1-3/4" oak pickets from first to second floor.

37. Master bedrooms complete with an ensuite bathroom as per plans.
38. All drywall applied with screws, using a minimum number of nails and drywall clips for upper hall ceilings to minimize repairs in the future.
39. All sub-floors are tongue and groove; nailed and glued down.
40. Roof truss beams with hurricane ties to minimize truss uplift and repairs in the future.
41. The first and second floor will be framed with an engineered wood floor joist system for optimum performance and quality.
42. Builder's standard Gas Fireplace and Wood Mantel as per plans and brochures.
43. Heavy upgraded colonial trim with 3" wide casing with integral backband and 7-1/4" high baseboards.
44. Quality imported ceramic main floor tiles in the foyer, kitchen, breakfast area, powder room, main or second floor laundry rooms and throughout the main hall, where applicable as per our brochures.
45. Elegant 3-1/4" wide natural finish oak plank flooring throughout the main floor (where applicable) except for those areas covered by ceramic tile (as per brochures). 3-1/4" wide natural finish oak plank flooring in the upper hall (as per brochures).
46. Builder's upgrade 2 high quality broadloom for second floor areas not covered by plank flooring or ceramic tile as per brochures.
47. Ceiling height on the main floor is 10 feet high with a second floor ceiling height of 9' high.
48. Quality imported ceramic tile on upstairs bathroom floors, bathtub and shower enclosure walls up to and including the ceilings (except for deck tubs which include the full height walls only).
49. Poured concrete floor in the basement with a floor drain by the furnace and in the cold room(s) as per plan.

PLUMBING

50. Upgraded ledgeback double compartment stainless steel sink in the kitchen with upgraded Moen chrome finish single lever faucet with pullout spray.
51. Laundry rooms on the main or second floors have single basin laundry tubs mounted with full base cabinets and upper cabinets for storage above.
52. All laundry rooms have hot and cold water and drain provisions for future automatic clothes washer.
53. Exterior water taps, with inside shut-off valves, located at the rear of the house and in the garage or front of the house (where applicable).
54. White lavatory sinks, water closets and bathtubs.
55. Luxurious freestanding tub for master bedroom ensuite as per plans and brochure.
56. Shower with prefabricated base and standard 2-panel framed acrylic door for family bath ensuite. Frameless shower door for master ensuite shower.
57. Premium Moen washerless chrome single lever faucets for all bathroom lavatory sinks with manufacturer's limited long-term warranty.
58. Moen chrome single lever pressure balance/temperature controlled shower faucets for safety and comfort.
59. All sinks and water closets have water shut-off valves for serviceability and convenience.
60. Full height shower backer board for ceramic tiles in all shower enclosures as per plan.
61. Efficient water saving water closets that comply with the most recent building codes.
62. Water supply and drain provisions for future dishwasher in the kitchen.
63. Rough-in drain provisions for future 3-piece washroom in the basement.

ELECTRICAL

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65. 100 amp. electrical service with circuit breaker panel.
66. White Decora switches and plugs throughout the house.
67. Interior light fixtures in every room, hallway and walk-in closets excluding living rooms or great rooms where switched wall receptacles are provided for future lamps.
68. Recessed shower potlight in all separate shower stalls.
69. All bathroom electrical receptacles with a ground fault detector circuit for safety around water.
70. An exterior weatherproof electrical receptacle in the rear yard and front porch (where applicable).
71. Split-circuit electrical outlets above the kitchen counter for future small appliances.
72. Heavy Duty cable and receptacle for future stove and dryer.
73. Interconnected smoke alarms on each level including the basement as per the Ontario Building Code.
74. Carbon Monoxide Detector(s) as per the Ontario Building Code.
75. Electrical outlet(s) in the garage ceiling for future garage door opener(s).
76. Front door electric door chime.

77. Rough-in central vacuum system (dropped to the basement) with dedicated electrical outlet in the attached garages or basement where applicable.
78. Rough-in electrical wire for future dishwasher in the kitchen.
79. Two-speed white kitchen exhaust fan vented to the outside (6" in diameter).
80. All bathrooms (with or without windows) have exhaust fans vented to the outside.
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A BETTER BUILDER

The Starlane Story

For over 30 years, Starlane has been a name synonymous with quality and trust. The family-run business has built and sold over 11,000 new homes across the GTA and in that time, the company's commitment to excellence has never wavered. Starlane's exceptional work has been recognized by renowned associations like Ontario's Home Builder Association, BILD (Building Industry and Land Development Association) and RESCON (Residential Construction Council of Ontario).







Starlane
HOME CORPORATION

STARLANEHOMES.COM